

SHOWROOM AND OFFICE RENOVATIONS

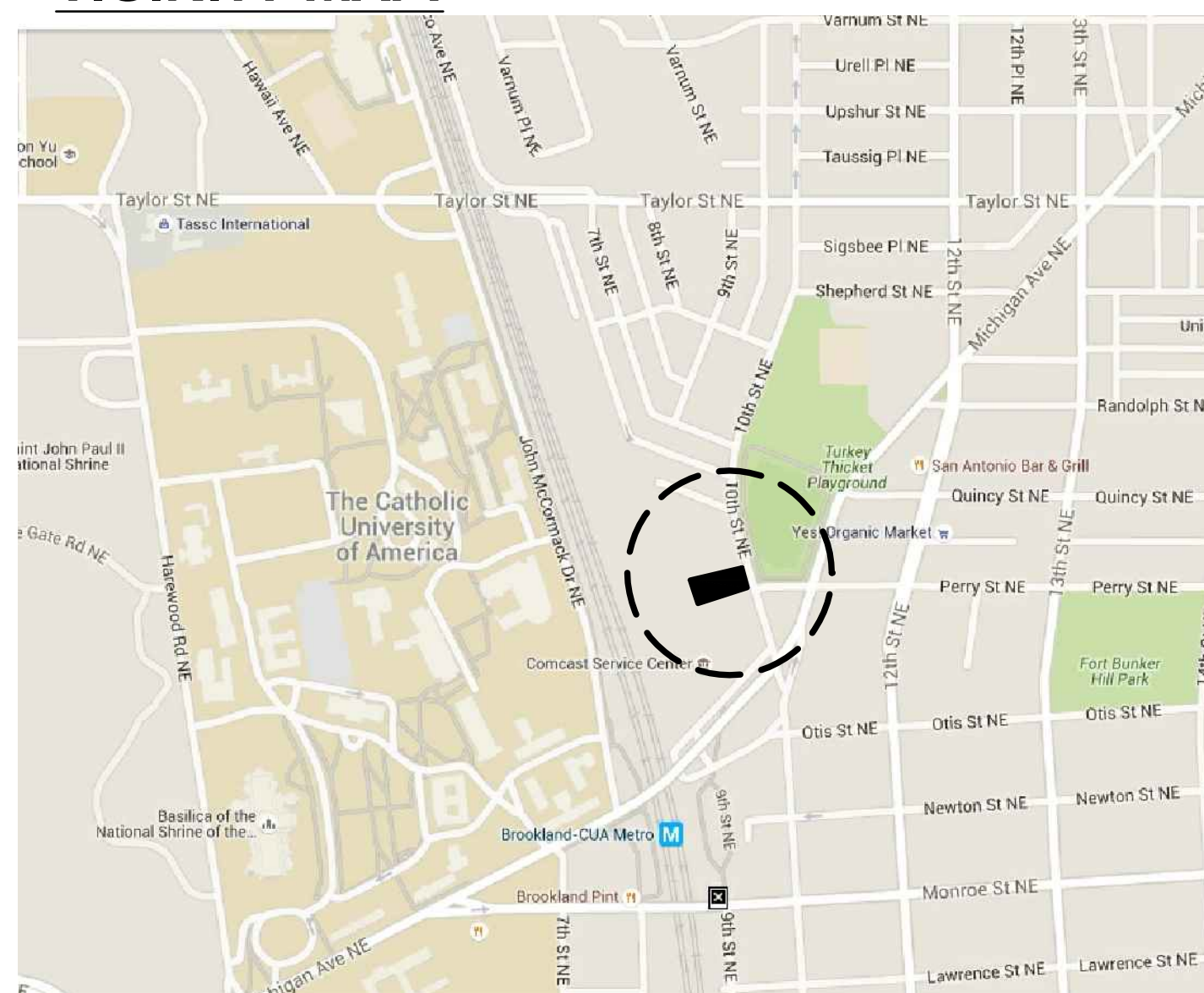


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VICINITY MAP:



PROJECT DESCRIPTION:

PROJECT CONSISTS OF WORK TO APPROXIMATELY 5,773 SQUARE FEET OF THE FIRST FLOOR OF ATLANTIC LIGHTING, INC. WORK WILL INCLUDE INTERIOR RENOVATIONS TO THE EXISTING DISPLAY AREA, SHOWROOM AND OFFICES.

1. NEW CARPET AND/OR LUXURY VINYL TILE THROUGHOUT
2. NEW PORCELAIN TILE AND WALL FINISHES IN TWO EXISTING RESTROOMS. (FIXTURES TO REMAIN IN PLACE)
3. RE-FINISH EXISTING SERVICE DESK
4. NEW WALL BASE, DOOR TRIM AND PAINT THROUGHOUT.
5. CREATION OF NEW CONFERENCE/ MEETING ROOM (418 SQ. FT.)
6. REPLACEMENT OF EXISTING SUSPENDED ACOUSTICAL CEILING TILES IN SPECIFIED AREAS. (LIGHTING AND GRID TO REMAIN IN PLACE)
7. NEW SUSPENDED CEILING TILE AND GRID INSTALLATION IN SPECIFIED AREAS TO INCLUDE NEW LIGHTING.

BUILDING CODE INFORMATION:

USE CLASSIFICATION: ----- INDUSTRIAL- WAREHOUSE
ZONING CLASSIFICATION:----- C-2-A
SQUARE:----- 3822
LOT NO.: ----- 0805
LOT AREA:----- 16,458 SQ. FT.
EXISTING FOOTPRINT:----- 11,837 SQ. FT.
GROSS BUILDING AREA: ----- 20,998 SQ. FT.
NO. OF STORIES:----- 2 STORIES
SPRINKLERED:----- NO

SHEET INDEX:

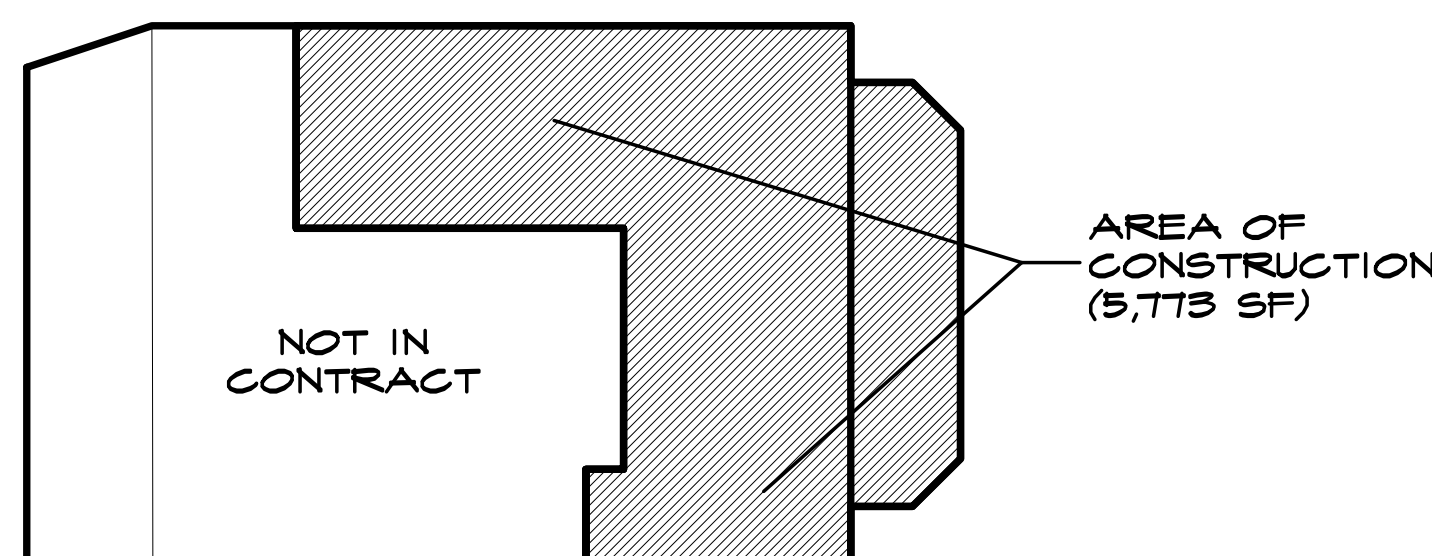
- A0001 COVER SHEET
- A0002 GENERAL NOTES/ EGRESS PLAN
- A0003 FIRST FLOOR DEMOLITION PLAN
- A0004 FIRST FLOOR PLAN
- A0005 ARCHITECTURAL REFLECTED CEILING PLAN
- A0006 SERVICE DESK ELEVATIONS & DETAILS
- A0007 INTERIOR ELEVATIONS & DETAILS
- A0008 INTERIOR ELEVATIONS & DETAILS
- A0009 WALL, DOOR & WINDOW TYPES AND SPECS
- A0010 FINISH SCHEDULE & SPECIFICATIONS
- E0001 ELECTRICAL DEMOLITION PLAN
- E0002 ELECTRICAL PLAN
- M0001 EXISTING/ NEW MECHANICAL PLAN

BLDG. SQUARE FOOTAGE ANALYSIS:

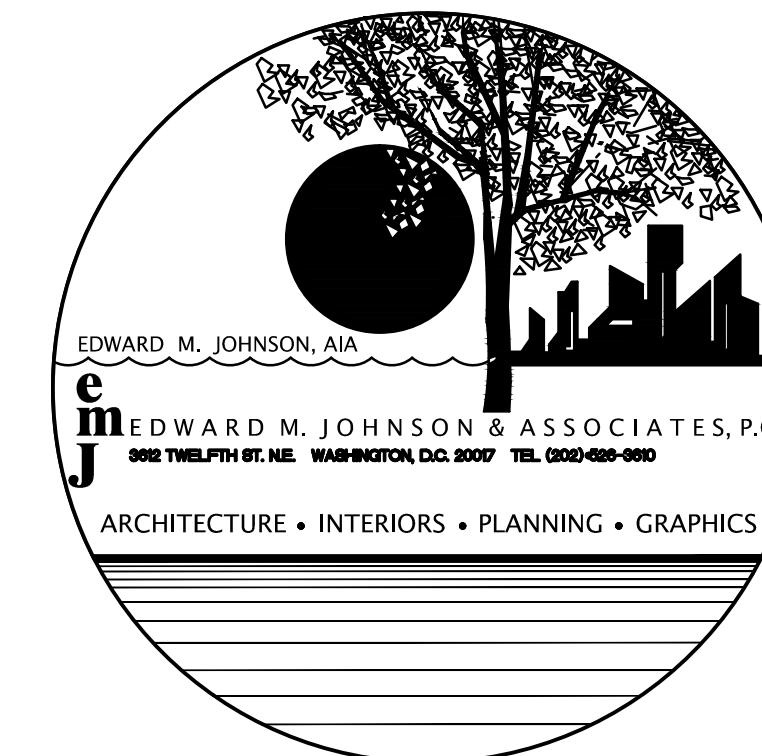
GROSS BUILDING AREA: ----- 20,998 SQUARE FEET
GROSS FIRST FLOOR AREA:----- 11,837 SQUARE FEET
RENOVATION AREA:----- 5,773 SQUARE FEET

OCCUPANCY LOAD ANALYSIS:

FLOOR:	ROOM CALCULATION:	TOTAL MAXIMUM OCCUPANT LOAD:
MEETING/ CONFERENCE RM:	• 418 S.F. / 7 S.F. (NON FIXED CHAIRS)	59 OCCUPANTS
		SEE MAXIMUM OCCUPANCY PLACARD DETAIL ON SHEET A0002



FIRST FLOOR KEY PLAN
SCALE: 1/32"=1'-0"



GENERAL PROJECT NOTES:

WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

- A. PROJECT SPECIFICATIONS
- B. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS
- C. IBC 2006 (INTERNATIONAL BUILDING CODE 2006)
- D. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
- E. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY THE CONTRACTOR IS REQUIRED TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURERS SPECIFICATIONS AND/OR RECOMMENDATIONS

THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY.

IT IS INTENDED THAT THE CONTRACTOR COMPLETE THE PROJECT IN ITS ENTIRETY AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT WORK SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT. CORRECTIVE MEASURES MUST BE PROVIDED AND APPROVED BY THE ARCHITECT

THROUGHOUT THE DURATION OF THE PROJECT REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS REASONABLE AND JUSTIFIABLE CAUSE CAN BE SHOWN. APPROVAL FOR PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.

ALL WORK IS TO BE DONE IN A WORKMANLIKE MANNER, EMPLOYING THE BEST PRACTICES OF EACH TRADE.

NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE EVEN IF THE DEFECTIVE WORK IS NOT OBSERVED TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

EXECUTE WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS INCLUDING BUT NOT LIMITED TO: IBC, SEISMIC CODES, NEC, NFPA, ASMC, UMC, LATEST ENFORCED EDITIONS.

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN, DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.

THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED, WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.

PROVIDE STRICT CONTROL OF JOB CLEANING FOR PREVENTING DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA.

CONTRACTOR WILL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND MACHINERY TO COMPLETE ALL PHASES OF THE SITE, AND BUILDING RELATED WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.

THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

UPON NOTIFICATION OF COMPLETION OF THE WORK AND DELIVERY OF THE CONTRACTOR'S PUNCHLIST, THE ARCHITECT SHALL PREPARE A PUNCH-LIST OF CORRECTIONS, UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.

ALL REQUIRED WARRANTIES MUST BE SUBMITTED AS A PART OF ALL FINAL SUBMITTALS

"TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS U.O.N.

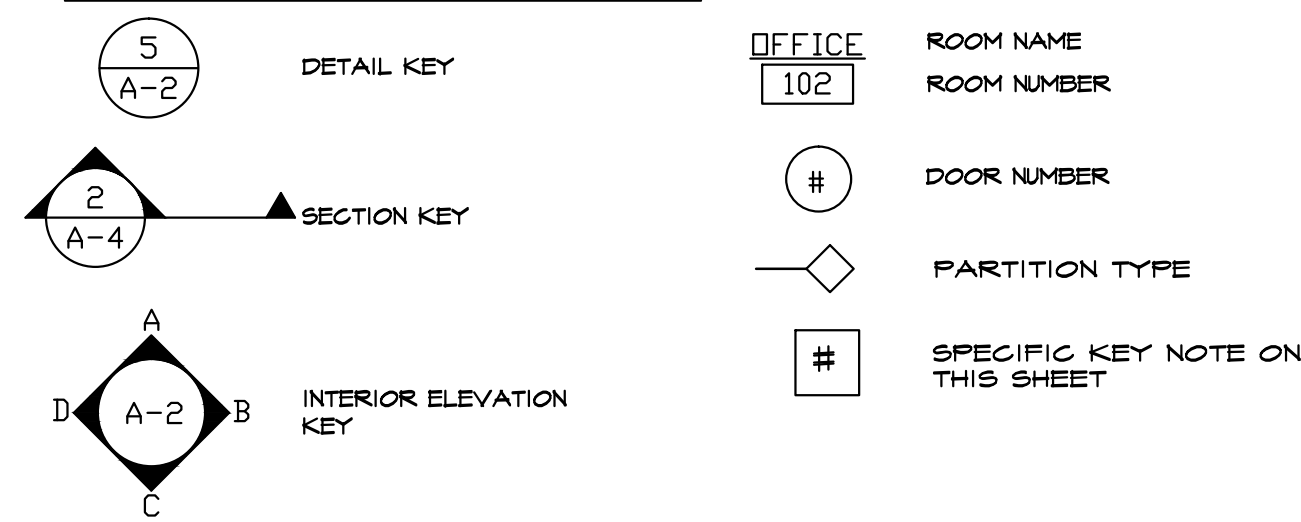
"SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.

"VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH ARCHITECT.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS

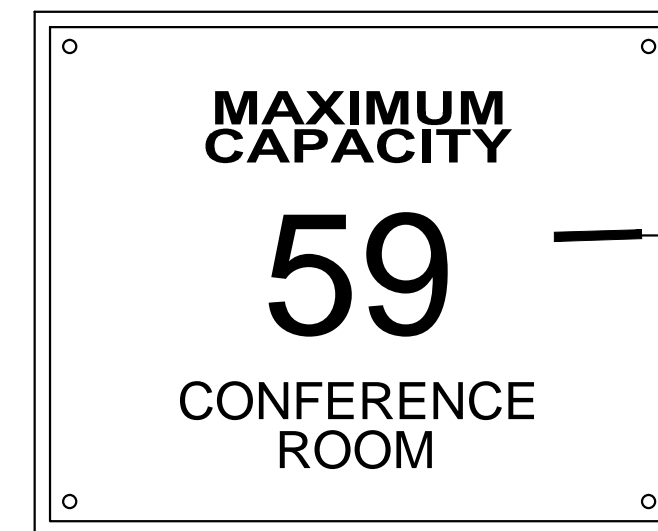
CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.

GRAPHIC SYMBOLS



ABBREVIATIONS:

AFF ABOVE FINISHED FLOOR	FRP FIBERGLASS REINFORCED PLASTIC	E PLATE
ALUM ALUMINUM	FTS FOOTING	PSI (F) POUNDS PER SQ. IN. (FT.)
AB ANCHOR BOLT	FH FULL HEIGHT	PROP PRESSURE TREATED PROPERTY
APPRX APPROXIMATE	FOM FACE OF MASONRY	REF REFERENCE
ARCH ARCHITECTURAL	FOG FACE OF CONCRETE	REINF REINFORCING
	POF FACE OF FINISH	REQD REQUIRED
	FIN FINISH	REV REVISION
BM BEAM	FD FLOOR DRAIN	RD ROOF DRAIN
BOT BOTTOM	FO FINISHED OPENINGS	RM ROOM
BLK BLOCK	FF FINISHED FLOOR	RO ROUGH OPENING
BLDG BUILDING	FFE FINISHED FLOOR ELEVATION	ROW RIGHT OF WAY
	FLR FLOOR	
CL CENTER LINE		SECT SECTION
CI CAST IRON	GA GAGE, GAUGE	SF SQUARE FEET/ FOOT
CO CLEAN OUT	GALV GALVANIZED	SHT SHEET
CLR CLEAR	G.W.B. GYPSUM WALL BOARD	SPF SPRAYED POLYURETHANE FOAM
COL COLUMN	HB HOVE BIB	SS STAINLESS STEEL
CONST CONSTRUCTION	HD HEAVY DUTY	STD STANDARD
CONC CONCRETE	HORIZ. HORIZONTAL	STL STEEL
CMU CONCRETE MASONRY UNIT	ID INSIDE DIAMETER	STRUC. STRUCTURE/ STRUCTURAL
	JT JOINT	SUL SUPER UNLEADED
CJ CONTROL JOINT		TOI TOP OF ISLAND
CRSE COURSE	MH MANHOLE	TOT TOP OF TANK
CLS CEILING	MAT MATERIAL	TOC TOP OF CURB
D.C. DISTRICT OF COLUMBIA	MTL METAL	T.O.B. TOP OF BLOCK
DDOT D.C. DEPT OF TRANSPORTATION	MISC MISCELLANEOUS	T.O.P. TOP OF PARAPET
DIA DIAMETER	MIN MINIMUM	T.O.R. TOP OF ROOF
DS DOWN SPOUT	MAX MAXIMUM	T.O.S. TOP OF SILL/ SLAB
DTL DETAIL	MO MASONRY OPENING	TYP TYPICAL
DK1 DOUBLE WALL	MFR. MANUFACTURER	U.O.N. UNLESS OTHERWISE NOTED
DWS DRAWINGS	MAS MASONRY	UL UNLEADED
EA EACH	NIC NOT IN CONTRACT	VERT VERTICAL
EB EXPANSION BOLT	NOM NOMINAL	WASA D.C. WATER AND SEWER AUTHORITY
ELEC ELECTRIC	NTS NOT TO SCALE	WM WIRE MESH
ELEV ELEVATION		WV W/TH
EQ. EQUAL		WD WOOD
EQUIP EQUIPMENT	OPNS OPENING	WP WEATHER PROOF
EXT EXTERIOR	OC ON CENTER	WVF WELDED WIRE FABRIC
EXP EXPOSED	OD OUTSIDE DIAMETER	
EXIST EXISTING	OA OVERALL	



OCCUPANCY SIGN SECURED TO WALL WITH (4) CONCEALED TAMPERPROOF SCREWS AND EXPANSION SLEEVES- SIZE AS REQUIRED BY THE DC ZONING DEPARTMENT

ALL LETTERS TO BE 1" HIGH (MIN) AND NUMERALS 1 1/2" HIGH (MIN.)

2 PLACARD DETAIL (CONFERENCE RM.)
A-0005 NOT TO SCALE

SUBMITTALS REQUIREMENTS:

SHOP DRAWINGS:

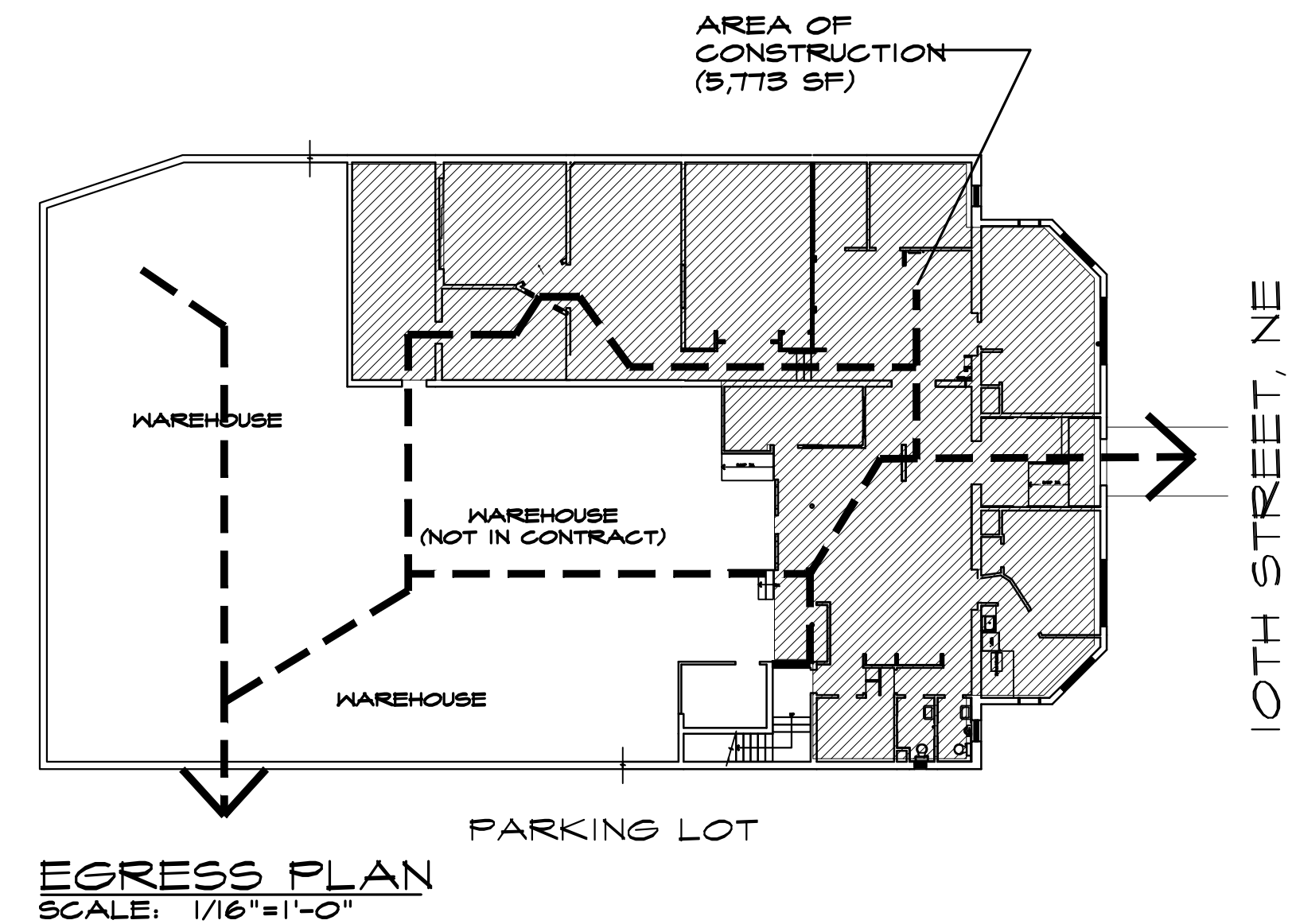
SHOP DRAWING WILL BE REQUIRED TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING, FABRICATION OR INSTALLATION OF THE FOLLOWING PRODUCTS AND ITEMS LISTED BELOW:

1. CABINETS (SIZES AND DOOR STYLE)
2. CUSTOM METAL SERVICE DESK PANELS
3. DISPLAY CASE LAYOUT
4. SLAT WALL SYSTEM INSTALLATIONS
5. CUSTOM COUNTERTOP AND SHELVING (VIEW B. A0007)
6. SUSPENDED CEILING GRID AND LIGHT INSTALLATION DETAILS
7. CUSTOM DOOR (DOOR #3)

SAMPLES:

PROVIDE SAMPLES WITH THE SUBMISSION OF SHOP DRAWINGS FOR COLOR APPROVAL FOR THE FOLLOWING ITEMS:

1. DECORATIVE WALL PANELS
2. SLAT WALL SYSTEMS
3. CARPET
4. COUNTERTOPS
5. SUSPENDED CEILING GRID (SERVICE AREA)
6. CUSTOM METAL SERVICE DESK PANELS
7. STAIR NOSING
8. VINYL FLOORING (HOOD TEXTURE)
9. PORCELAIN FLOOR TILE AND BASE
10. CORRUGATED WALL PANEL
11. OAK TRIM (STAIN COLOR)



REVISIONS:

PROJECT NO:

DRAWN BY:
R. RAY JR.

CHECKED BY:
E.-J.

DATE:
NOVEMBER 4, 2015

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ATLANTIC LIGHTING
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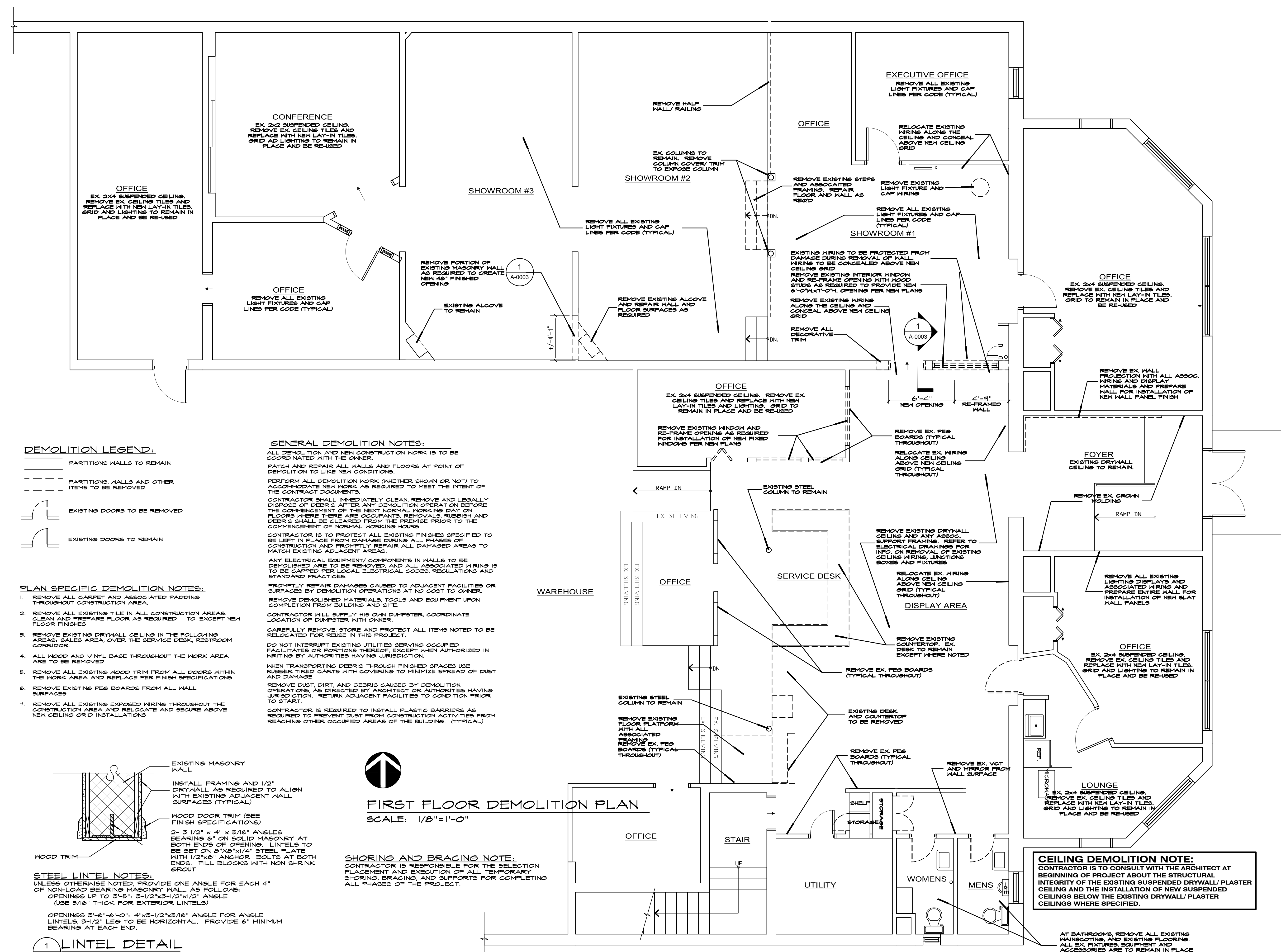
SHEET TITLE: GENERAL NOTES, EGRESS PLAN, ABBREVIATIONS, & SYMBOLS

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SHEET NO:

A-0002



DEMOLITION LEGEND:

- PARTITIONS WALLS TO REMAIN
- - - PARTITIONS, WALLS AND OTHER ITEMS TO BE REMOVED
- EXISTING DOORS TO BE REMOVED
- EXISTING DOORS TO REMAIN

PLAN SPECIFIC DEMOLITION NOTES:

1. REMOVE ALL CARPET AND ASSOCIATED PADDING THROUGHOUT CONSTRUCTION AREA.
2. REMOVE ALL EXISTING TILE IN ALL CONSTRUCTION AREAS. CLEAN AND PREPARE FLOOR AS REQUIRED TO EXCEPT NEW FLOOR FINISHES.
3. REMOVE EXISTING DRYWALL CEILING IN THE FOLLOWING AREAS: SALES AREA, OVER THE SERVICE DESK, RESTROOM CORRIDOR.
4. ALL WOOD AND VINYL BASE THROUGHOUT THE WORK AREA ARE TO BE REMOVED.
5. REMOVE ALL EXISTING WOOD TRIM FROM ALL DOORS WITHIN THE WORK AREA AND REPLACE PER FINISH SPECIFICATIONS.
6. REMOVE EXISTING PES BOARDS FROM ALL WALL SURFACES.
7. REMOVE ALL EXISTING EXPOSED WIRING THROUGHOUT THE CONSTRUCTION AREA AND RELOCATE AND SECURE ABOVE NEW CEILING GRID INSTALLATIONS.

GENERAL DEMOLITION NOTES:

ALL DEMOLITION AND NEW CONSTRUCTION WORK IS TO BE COORDINATED WITH THE OWNER.
 PATCH AND REPAIR ALL WALLS AND FLOORS AT POINT OF DEMOLITION TO LIKE NEW CONDITIONS.
 PERFORM ALL DEMOLITION WORK (WHETHER SHOWN OR NOT) TO ACCOMMODATE NEW WORK AS REQUIRED TO MEET THE INTENT OF THE CONTRACT DOCUMENTS.
 CONTRACTOR SHALL IMMEDIATELY CLEAN, REMOVE AND LEGALLY DISPOSE OF DEBRIS AFTER ANY DEMOLITION OPERATION BEFORE THE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY ON FLOORS WHERE THERE ARE OCCUPANTS. REMOVALS, RUBBISH AND DEBRIS SHALL BE CLEARED FROM THE PREMISE PRIOR TO THE COMMENCEMENT OF NORMAL WORKING HOURS.
 CONTRACTOR IS TO PROTECT ALL EXISTING FINISHES SPECIFIED TO BE LEFT IN PLACE FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION AND PROMPTLY REPAIR ALL DAMAGED AREAS TO MATCH EXISTING ADJACENT AREAS.
 ANY ELECTRICAL EQUIPMENT/COMPONENTS IN WALLS TO BE DEMOLISHED ARE TO BE REMOVED, AND ALL ASSOCIATED WIRING IS TO BE CAPPED PER LOCAL ELECTRICAL CODES, REGULATIONS AND STANDARD PRACTICES.
 PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES OR SURFACES BY DEMOLITION OPERATIONS AT NO COST TO OWNER. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT UPON COMPLETION FROM BUILDING AND SITE.
 CONTRACTOR WILL SUPPLY HIS OWN DUMPSTER, COORDINATE LOCATION OF DUMPSTER WITH OWNER.
 CAREFULLY REMOVE, STORE AND PROTECT ALL ITEMS NOTED TO BE RELOCATED FOR REUSE IN THIS PROJECT.
 DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED FACILITIES OR PORTIONS THEREOF, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
 WHEN TRANSPORTING DEBRIS THROUGH FINISHED SPACES USE RUBBER TIERED CARTS WITH COVERINGS TO MINIMIZE SPREAD OF DUST AND DAMAGE.
 REMOVE DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY ARCHITECT OR AUTHORITIES HAVING JURISDICTION. RETURN ADJACENT FACILITIES TO CONDITION PRIOR TO START.
 CONTRACTOR IS REQUIRED TO INSTALL PLASTIC BARRIERS AS REQUIRED TO PREVENT DUST FROM CONSTRUCTION ACTIVITIES FROM REACHING OTHER OCCUPIED AREAS OF THE BUILDING. (TYPICAL)

FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/8"=1'-0"

SHORING AND BRACING NOTE:
 CONTRACTOR IS RESPONSIBLE FOR THE SELECTION, PLACEMENT AND EXECUTION OF ALL TEMPORARY SHORING, BRACING, AND SUPPORTS FOR COMPLETING ALL PHASES OF THE PROJECT.

STEEL LINTEL NOTES:

UNLESS OTHERWISE NOTED, PROVIDE ONE ANGLE FOR EACH 4' OF NON-LOAD BEARING MASONRY WALL, AS FOLLOWS:
 OPENINGS UP TO 3'-5", 3-1/2"x3-1/2"x1/2" ANGLE (USE 5/16" THICK FOR EXTERIOR LINTELS)
 OPENINGS 3'-6"-6'-0", 4"x3-1/2"x5/16" ANGLE FOR ANGLE LINTELS, 3-1/2" LEG TO BE HORIZONTAL. PROVIDE 6" MINIMUM BEARING AT EACH END.

1 LINTEL DETAIL
 A-0003 SCALE: 1/2"=1'-0"

CEILING DEMOLITION NOTE:

CONTRACTOR IS TO CONSULT WITH THE ARCHITECT AT BEGINNING OF PROJECT ABOUT THE STRUCTURAL INTEGRITY OF THE EXISTING SUSPENDED DRYWALL/ PLASTER CEILING AND THE INSTALLATION OF NEW SUSPENDED CEILING BELOW THE EXISTING DRYWALL/ PLASTER CEILING WHERE SPECIFIED.

AT BATHROOMS, REMOVE ALL EXISTING HANDSICHS AND EXISTING FLOORING. ALL EX. FIXTURES, EQUIPMENT AND ACCESSORIES ARE TO REMAIN IN PLACE (UNLESS REMOVAL IS REQUIRED) AND BE RE-USED AND RE-INSTALLED AT THE COMPLETION OF THE NEW FLOOR AND WALL INSTALLATIONS.

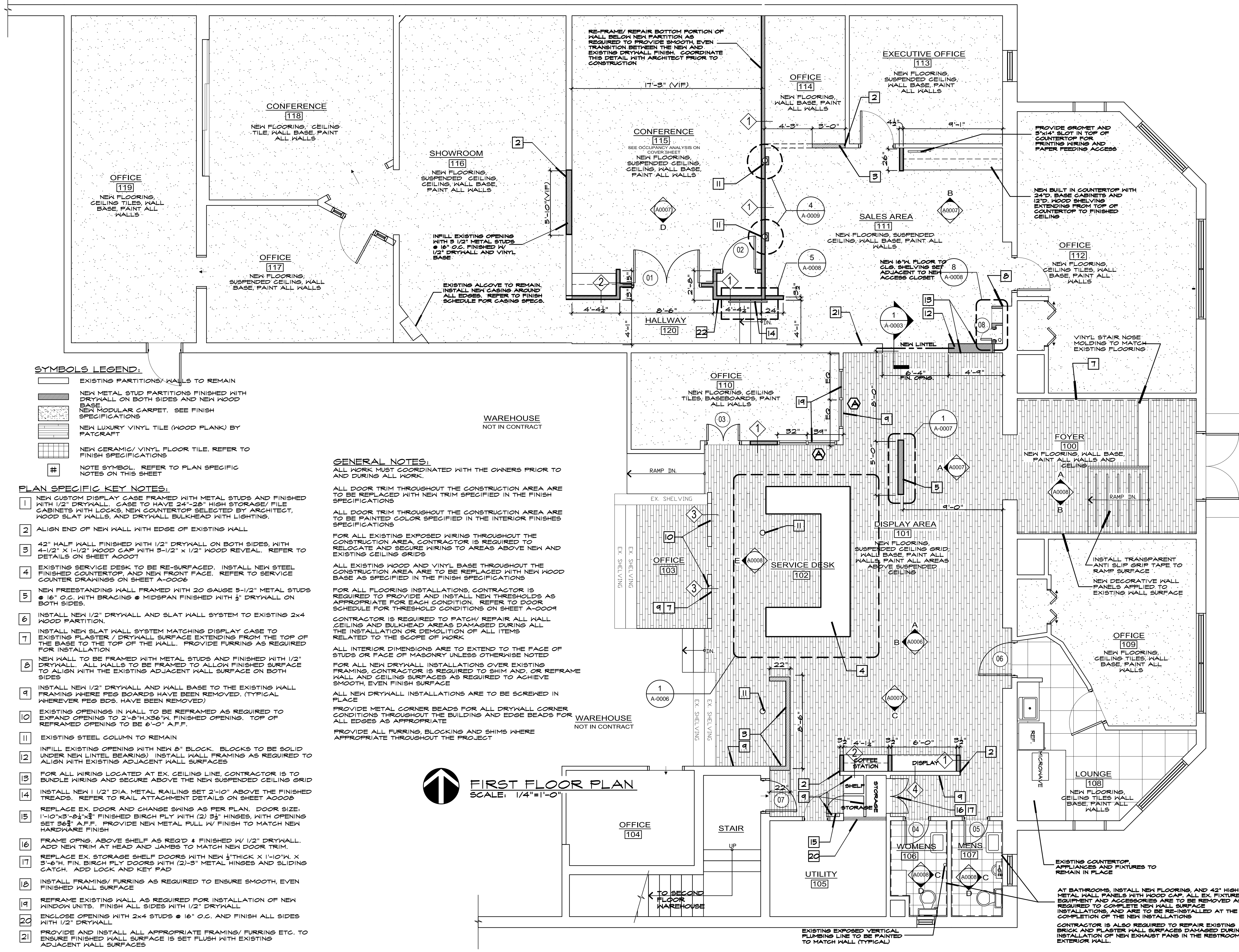
REVISIONS:

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	R. RAY JR.	E-J	NOVEMBER 4, 2015

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ATLANTIC LIGHTING
 3726 10TH STREET, NE
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 SHEET TITLE: FIRST FLOOR DEMOLITION PLAN

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SHEET NO:
A-0003



- SYMBOLS LEGEND:**
- EXISTING PARTITIONS/WALLS TO REMAIN
 - NEW METAL STUD PARTITIONS FINISHED WITH DRYWALL ON BOTH SIDES AND NEW WOOD BASE
 - NEW MODULAR CARPET. SEE FINISH SPECIFICATIONS
 - NEW LUXURY VINYL TILE (WOOD PLANK) BY PATOCRAFT
 - NEW CERAMIC/ VINYL FLOOR TILE. REFER TO FINISH SPECIFICATIONS
 - NOTE SYMBOL. REFER TO PLAN SPECIFIC NOTES ON THIS SHEET

- PLAN SPECIFIC KEY NOTES:**
- 1 NEW CUSTOM DISPLAY CASE FRAMED WITH METAL STUDS AND FINISHED WITH 1/2" DRYWALL. CASE TO HAVE 24"-26" HIGH STORAGE/ FILE CABINETS WITH LOCKS. NEW COUNTERTOP SELECTED BY ARCHITECT, WOOD SLAT WALLS, AND DRYWALL BULKHEAD WITH LIGHTING.
 - 2 ALIGN END OF NEW WALL WITH EDGE OF EXISTING WALL
 - 3 42" HALF WALL FINISHED WITH 1/2" DRYWALL ON BOTH SIDES, WITH 4-1/2" X 1-1/2" WOOD CAP WITH 5-1/2" X 1/2" WOOD REVEAL. REFER TO DETAILS ON SHEET A-0007
 - 4 EXISTING SERVICE DESK TO BE RE-SURFACED. INSTALL NEW STEEL FINISHED COUNTERTOP, AND NEW FRONT FACE. REFER TO SERVICE COUNTER DRAWINGS ON SHEET A-0006
 - 5 NEW FREESTANDING WALL FRAMED WITH 20 GAUGE 5-1/2" METAL STUDS @ 16" O.C. WITH BRACING @ MIDSPAN FINISHED WITH 1/2" DRYWALL ON BOTH SIDES
 - 6 INSTALL NEW 1/2" DRYWALL AND SLAT WALL SYSTEM TO EXISTING 2x4 WOOD PARTITION
 - 7 INSTALL NEW SLAT WALL SYSTEM MATCHING DISPLAY CASE TO EXISTING PLASTER / DRYWALL SURFACE EXTENDING FROM THE TOP OF THE BASE TO THE TOP OF THE WALL. PROVIDE FURRING AS REQUIRED FOR INSTALLATION
 - 8 NEW WALL TO BE FRAMED WITH METAL STUDS AND FINISHED WITH 1/2" DRYWALLS TO BE FRAMED TO ALLOW FINISHED SURFACE TO ALIGN WITH THE EXISTING ADJACENT WALL SURFACE ON BOTH SIDES
 - 9 INSTALL NEW 1/2" DRYWALL AND WALL BASE TO THE EXISTING WALL FRAMING WHERE PEG BOARDS HAVE BEEN REMOVED. (TYPICAL WHEREVER PEG BDS. HAVE BEEN REMOVED)
 - 10 EXISTING OPENINGS IN WALL TO BE REFRAMED AS REQUIRED TO EXPAND OPENING TO 2'-8" X 36" W. FINISHED OPENING. TOP OF REFRAMED OPENING TO BE 6'-0" A.F.F.
 - 11 EXISTING STEEL COLUMN TO REMAIN
 - 12 INFILL EXISTING OPENING WITH NEW 8" BLOCK. BLOCKS TO BE SOLID UNDER NEW LINTEL BEARING) INSTALL WALL FRAMING AS REQUIRED TO ALIGN WITH EXISTING ADJACENT WALL SURFACES
 - 13 FOR ALL WIRING LOCATED AT EX. CEILING LINE, CONTRACTOR IS TO BUNDLE WIRING AND SECURE ABOVE THE NEW SUSPENDED CEILING GRID
 - 14 INSTALL NEW 1/2" DIA. METAL RAILING SET 2'-10" ABOVE THE FINISHED TREADS. REFER TO RAIL ATTACHMENT DETAILS ON SHEET A-0008
 - 15 REPLACE EX. DOOR AND CHANGE SWAINS AS PER PLAN. DOOR SIZE: 1'-10" X 3'-8 1/4" X 3" FINISHED BIRCH PLY WITH (2) 3/4" HINGES, WITH OPENING SET 36 3/4" A.F.F. PROVIDE NEW METAL FULL W/ FINISH TO MATCH NEW HARDWARE FINISH
 - 16 FRAME OPNS. ABOVE SHELF AS REQ'D & FINISHED W/ 1/2" DRYWALL. ADD NEW TRIM AT HEAD AND JAMBS TO MATCH NEW DOOR TRIM.
 - 17 REPLACE EX. STORAGE SHELF DOORS WITH NEW 1/2" THICK X 1'-10" W. X 3'-6" H. FIN. BIRCH PLY DOORS WITH (2)-3" METAL HINGES AND SLIDING CATCH. ADD LOCK AND KEY PAD
 - 18 INSTALL FRAMING/ FURRING AS REQUIRED TO ENSURE SMOOTH, EVEN FINISHED WALL SURFACE
 - 19 REFRAME EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW WINDOW UNITS. FINISH ALL SIDES WITH 1/2" DRYWALL
 - 20 ENCLOSE OPENING WITH 2x4 STUDS @ 16" O.C. AND FINISH ALL SIDES WITH 1/2" DRYWALL
 - 21 PROVIDE AND INSTALL ALL APPROPRIATE FRAMING/ FURRING ETC. TO ENSURE FINISHED WALL SURFACE IS SET FLUSH WITH EXISTING ADJACENT WALL SURFACES
 - 22 INSTALL NEW OCCUPANCY FLAGCARD PER DC ZONING REGULATIONS. REFER TO FLAGCARD DETAIL ON SHEET A-0007

- GENERAL NOTES:**
- ALL WORK MUST COORDINATED WITH THE OWNERS PRIOR TO AND DURING ALL WORK.
- ALL DOOR TRIM THROUGHOUT THE CONSTRUCTION AREA ARE TO BE REPLACED WITH NEW TRIM SPECIFIED IN THE FINISH SPECIFICATIONS
- ALL DOOR TRIM THROUGHOUT THE CONSTRUCTION AREA ARE TO BE PAINTED COLOR SPECIFIED IN THE INTERIOR FINISHES SPECIFICATIONS
- FOR ALL EXISTING EXPOSED WIRING THROUGHOUT THE CONSTRUCTION AREA, CONTRACTOR IS REQUIRED TO RELOCATE AND SECURE WIRING TO AREAS ABOVE NEW AND EXISTING CEILING GRIDS
- ALL EXISTING WOOD AND VINYL BASE THROUGHOUT THE CONSTRUCTION AREA ARE TO BE REPLACED WITH NEW WOOD BASE AS SPECIFIED IN THE FINISH SPECIFICATIONS
- FOR ALL FLOORING INSTALLATIONS, CONTRACTOR IS REQUIRED TO PROVIDE AND INSTALL NEW THRESHOLDS AS APPROPRIATE FOR EACH CONDITION. REFER TO DOOR SCHEDULE FOR THRESHOLD CONDITIONS ON SHEET A-0009
- CONTRACTOR IS REQUIRED TO PATCH/ REPAIR ALL WALL CEILING AND BULKHEAD AREAS DAMAGED DURING ALL THE INSTALLATION OR DEMOLITION OF ALL ITEMS RELATED TO THE SCOPE OF WORK
- ALL INTERIOR DIMENSIONS ARE TO EXTEND TO THE FACE OF STUDS OR FACE OF MASONRY UNLESS OTHERWISE NOTED
- FOR ALL NEW DRYWALL INSTALLATIONS OVER EXISTING FRAMING, CONTRACTOR IS REQUIRED TO SHIM AND OR REFRAME WALL AND CEILING SURFACES AS REQUIRED TO ACHIEVE SMOOTH, EVEN FINISH SURFACE
- ALL NEW DRYWALL INSTALLATIONS ARE TO BE SCREWED IN PLACE
- PROVIDE METAL CORNER BEADS FOR ALL DRYWALL CORNER CONDITIONS THROUGHOUT THE BUILDING AND EDGE BEADS FOR ALL EDGES AS APPROPRIATE
- PROVIDE ALL FURRING, BLOCKING AND SHIMS WHERE APPROPRIATE THROUGHOUT THE PROJECT.

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS:

PROJECT NO.:	
DRAWN BY:	R. RAY JR.
CHECKED BY:	E-J
DATE:	NOVEMBER 4, 2015

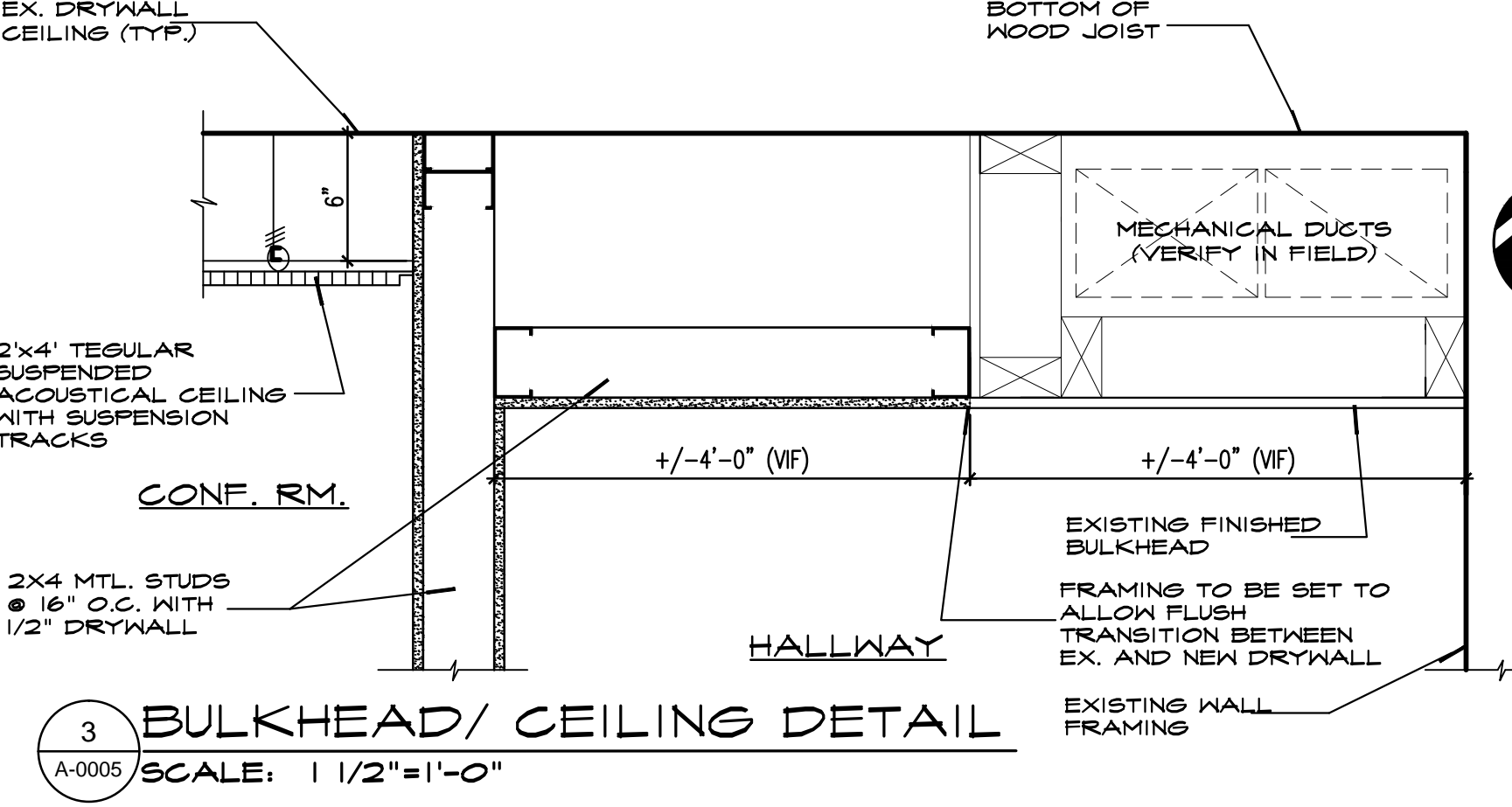
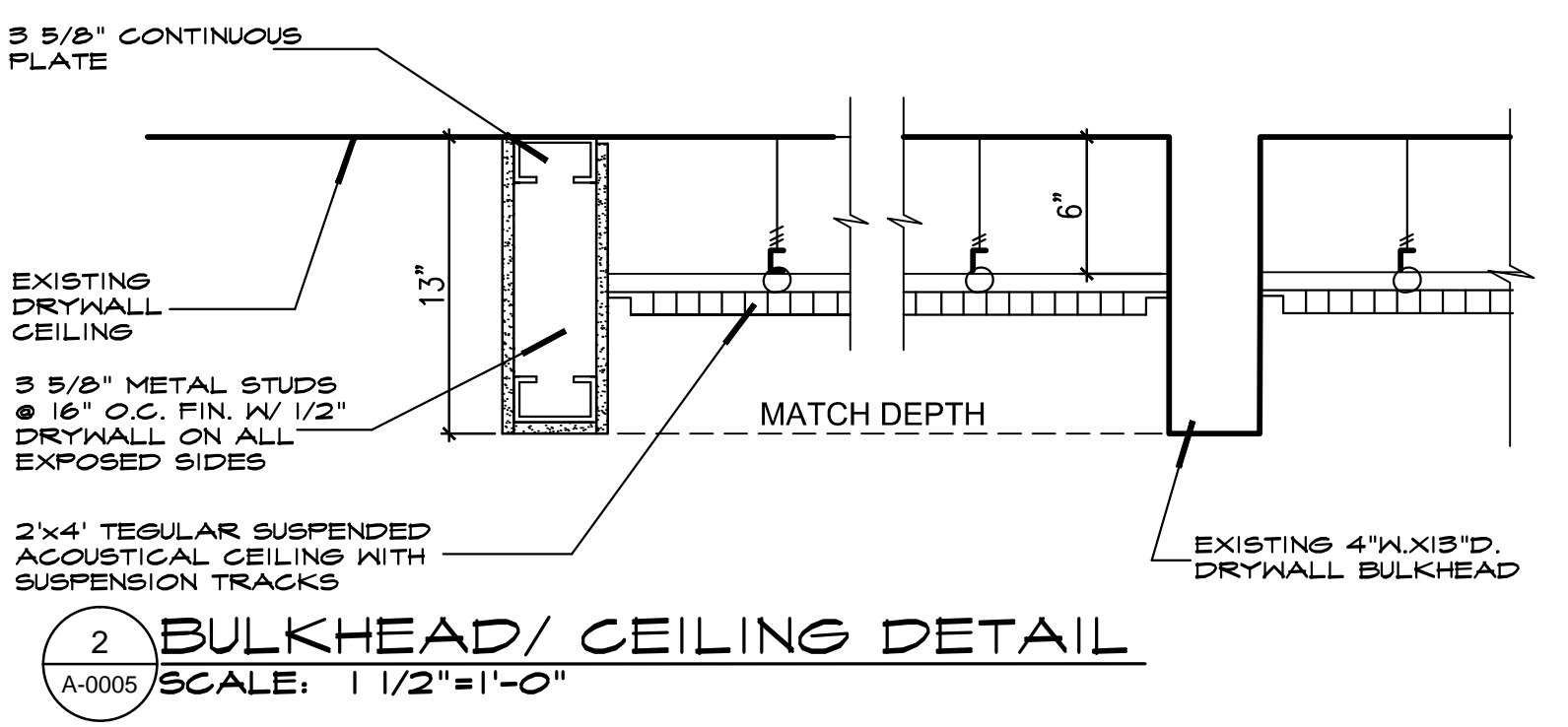
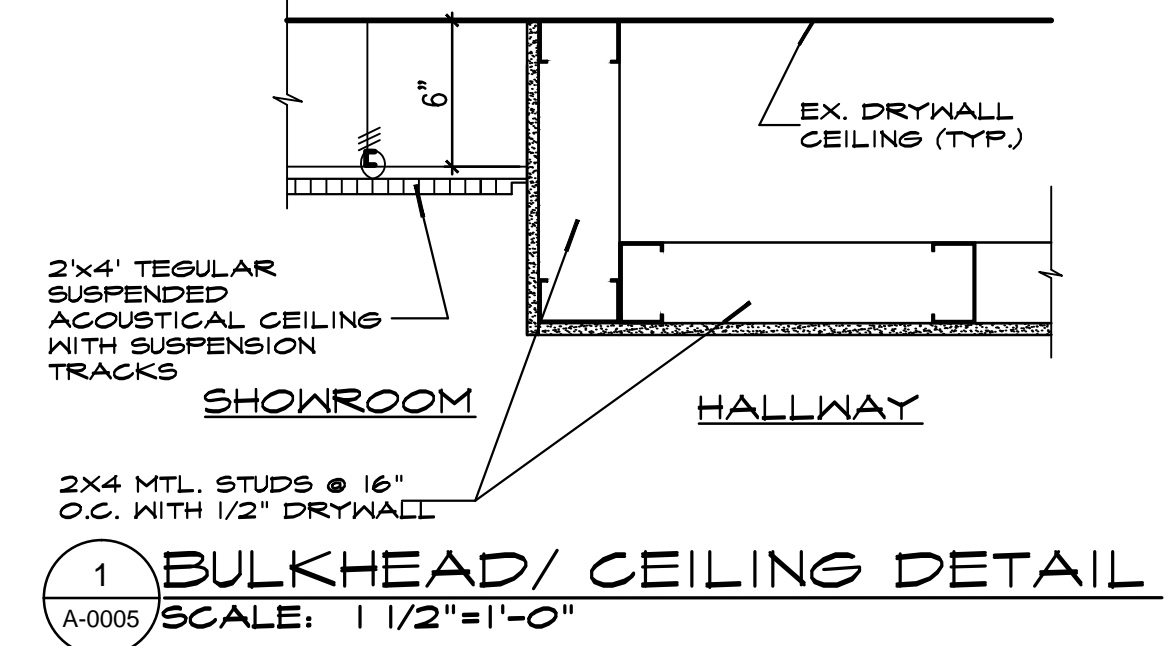
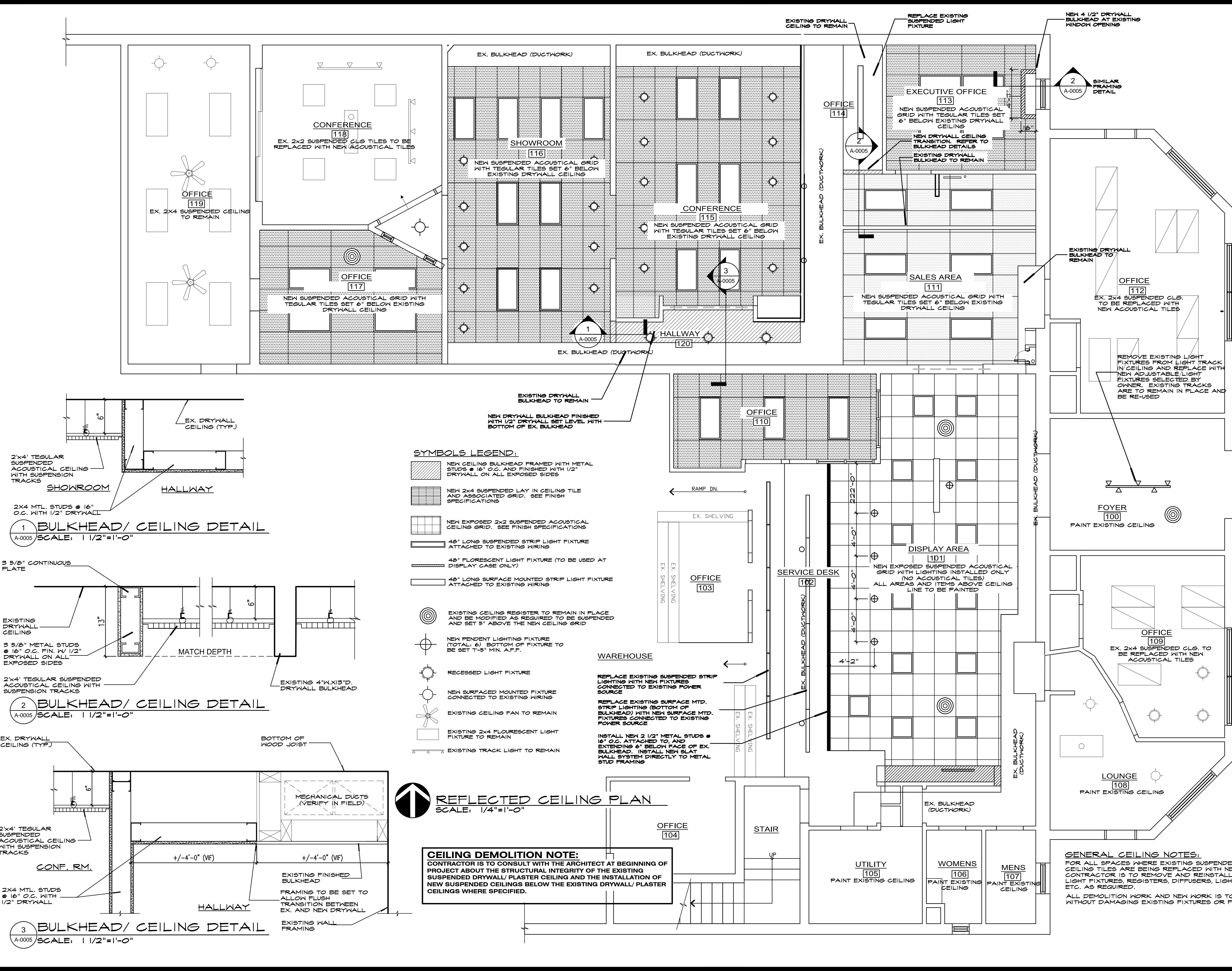
SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
3726 10TH STREET, NE
WASHINGTON, DC 20017

SHEET TITLE:
FIRST FLOOR PLAN

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SHEET NO:
A-0004



- SYMBOLS LEGEND:**
- NEW CEILING BULKHEAD FRAMED WITH METAL STUDS @ 16\"/>
 - NEW 2x4 SUSPENDED LAY IN CEILING TILE AND ASSOCIATED GRID. SEE FINISH SPECIFICATIONS
 - NEW EXPOSED 2x2 SUSPENDED ACOUSTICAL CEILING GRID. SEE FINISH SPECIFICATIONS
 - 48\"/>
 - 48\"/>
 - 48\"/>
 - EXISTING CEILING REGISTER TO REMAIN IN PLACE AND BE MODIFIED AS REQUIRED TO BE SUSPENDED AND SET 5\"/>
 - NEW PENDENT LIGHTING FIXTURE (TOTAL @) BOTTOM OF FIXTURE TO BE SET 7-5\"/>
 - RECESSED LIGHT FIXTURE
 - NEW SURFACE MOUNTED FIXTURE CONNECTED TO EXISTING WIRING
 - EXISTING CEILING FAN TO REMAIN
 - EXISTING 2x4 FLOURESCENT LIGHT FIXTURE TO REMAIN
 - EXISTING TRACK LIGHT TO REMAIN

REFLECTED CEILING PLAN
SCALE: 1/4\"/>

CEILING DEMOLITION NOTE:
CONTRACTOR IS TO CONSULT WITH THE ARCHITECT AT BEGINNING OF PROJECT ABOUT THE STRUCTURAL INTEGRITY OF THE EXISTING SUSPENDED DRYWALL/ PLASTER CEILING AND THE INSTALLATION OF NEW SUSPENDED CEILINGS BELOW THE EXISTING DRYWALL/ PLASTER CEILINGS WHERE SPECIFIED.

GENERAL CEILING NOTES:
FOR ALL SPACES WHERE EXISTING SUSPENDED ACOUSTICAL CEILING TILES ARE BEING REPLACED WITH NEW CEILING TILES, CONTRACTOR IS TO REMOVE AND REINSTALL ALL EXISTING LIGHT FIXTURES, REGISTERS, DIFFUSERS, LIGHTING DISPLAYS, ETC. AS REQUIRED.
ALL DEMOLITION WORK AND NEW WORK IS TO BE COMPLETED WITHOUT DAMAGING EXISTING FIXTURES OR FINISHES TO REMAIN

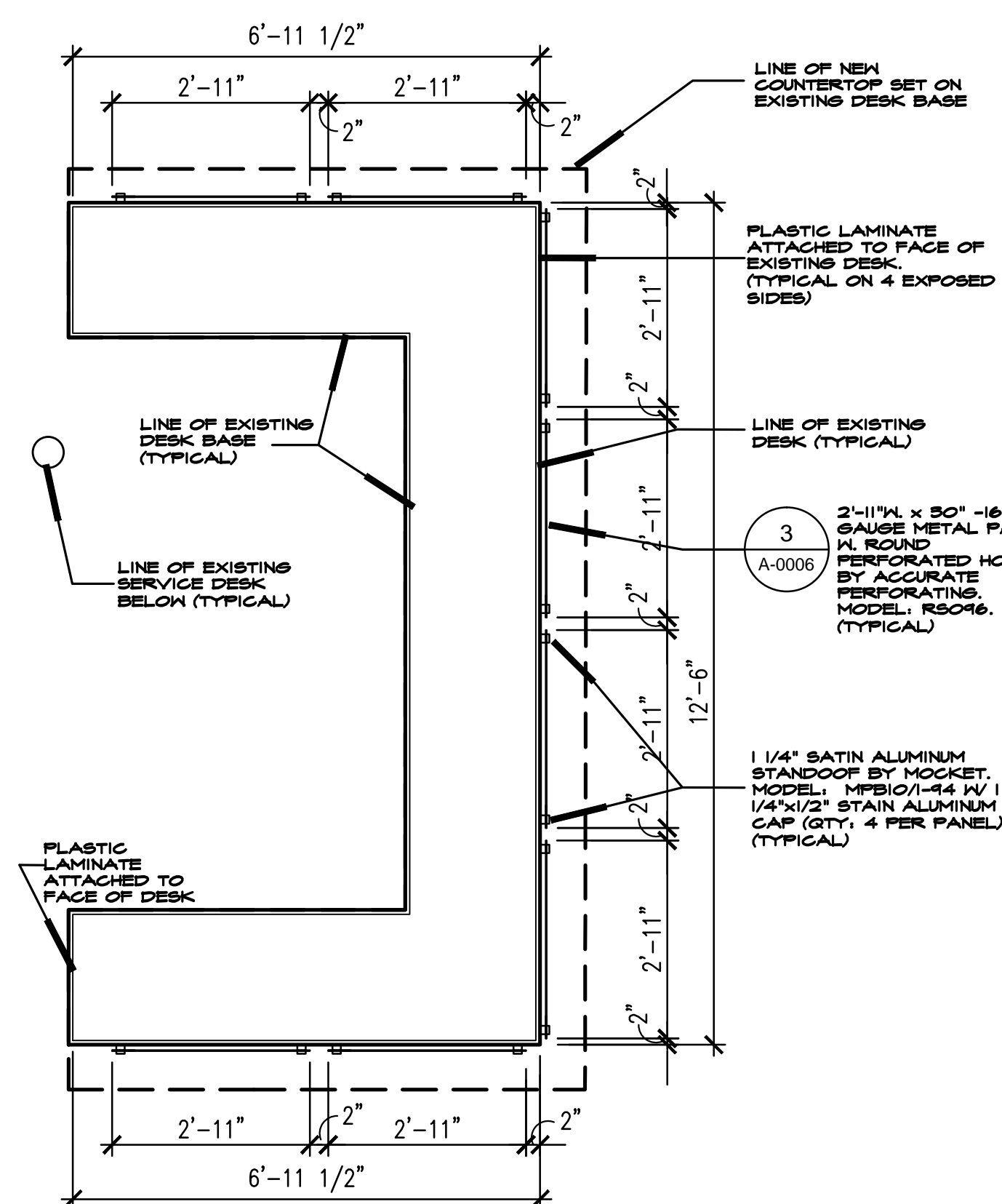
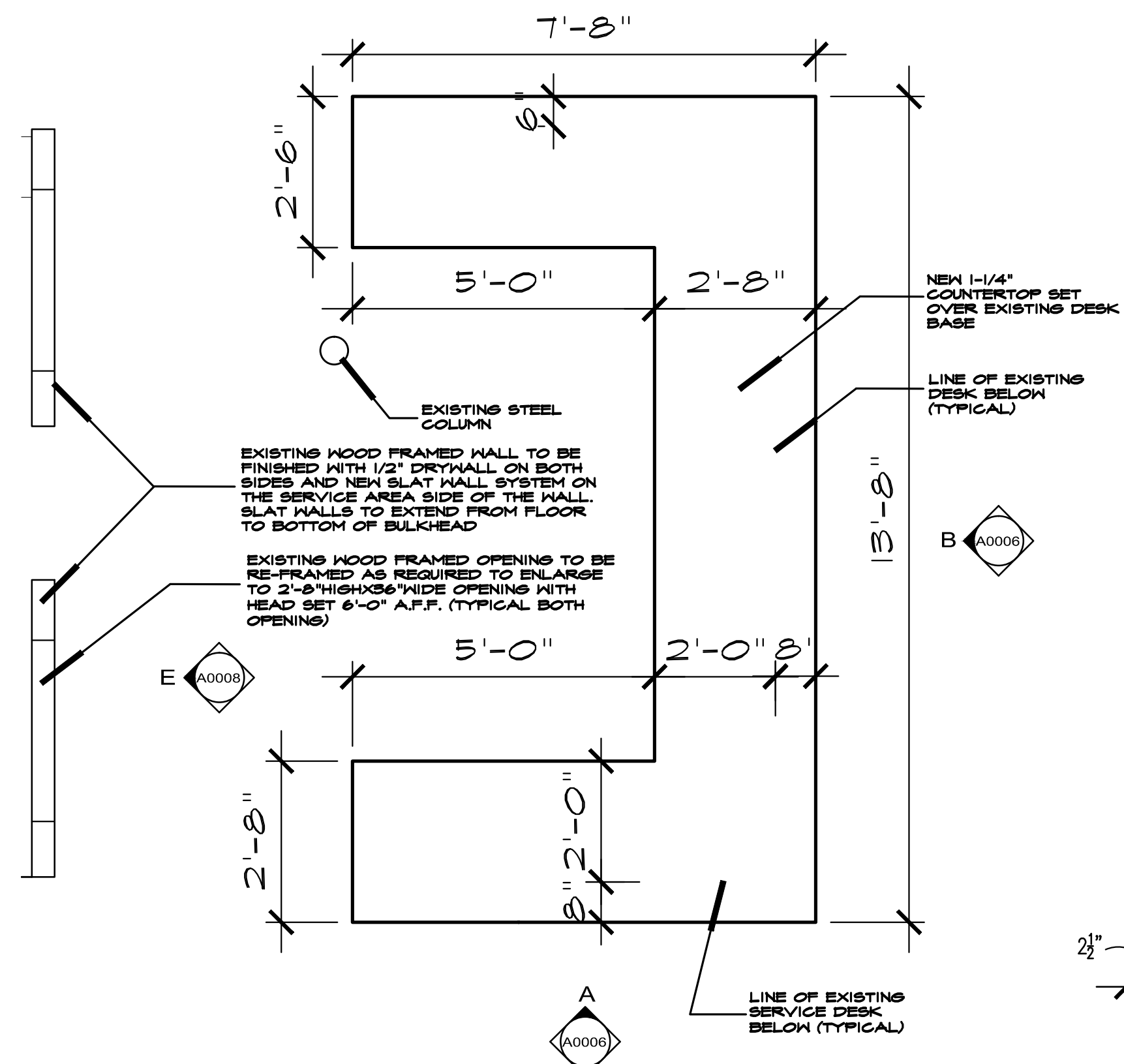
REVISIONS:

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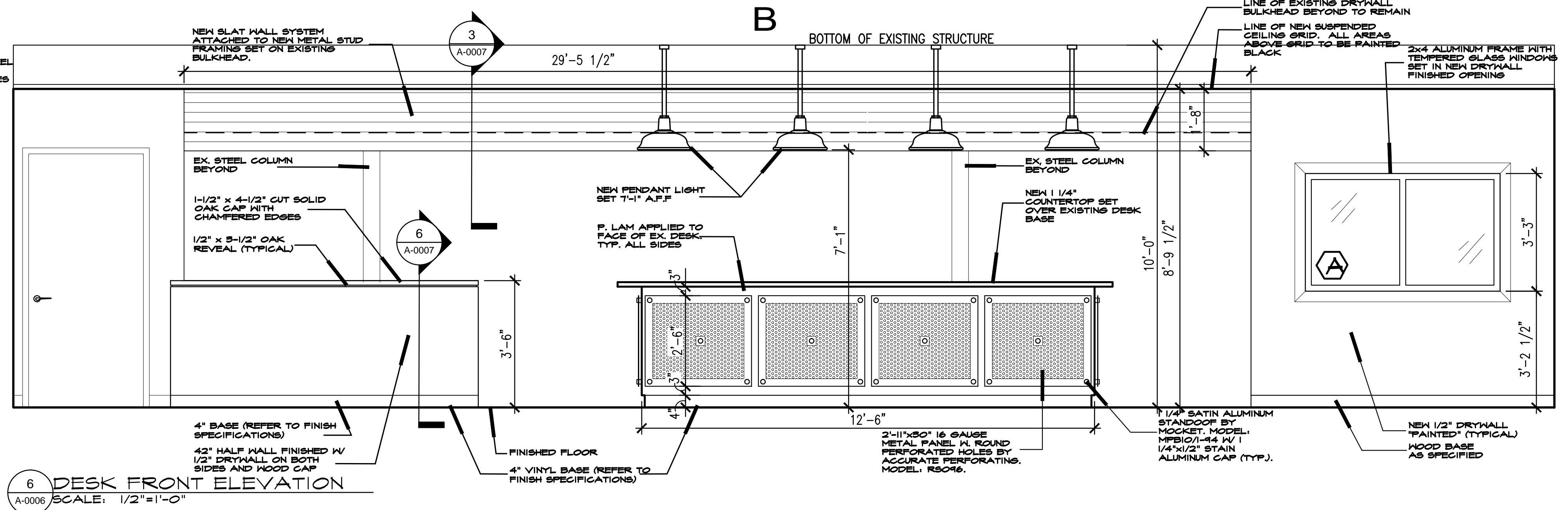
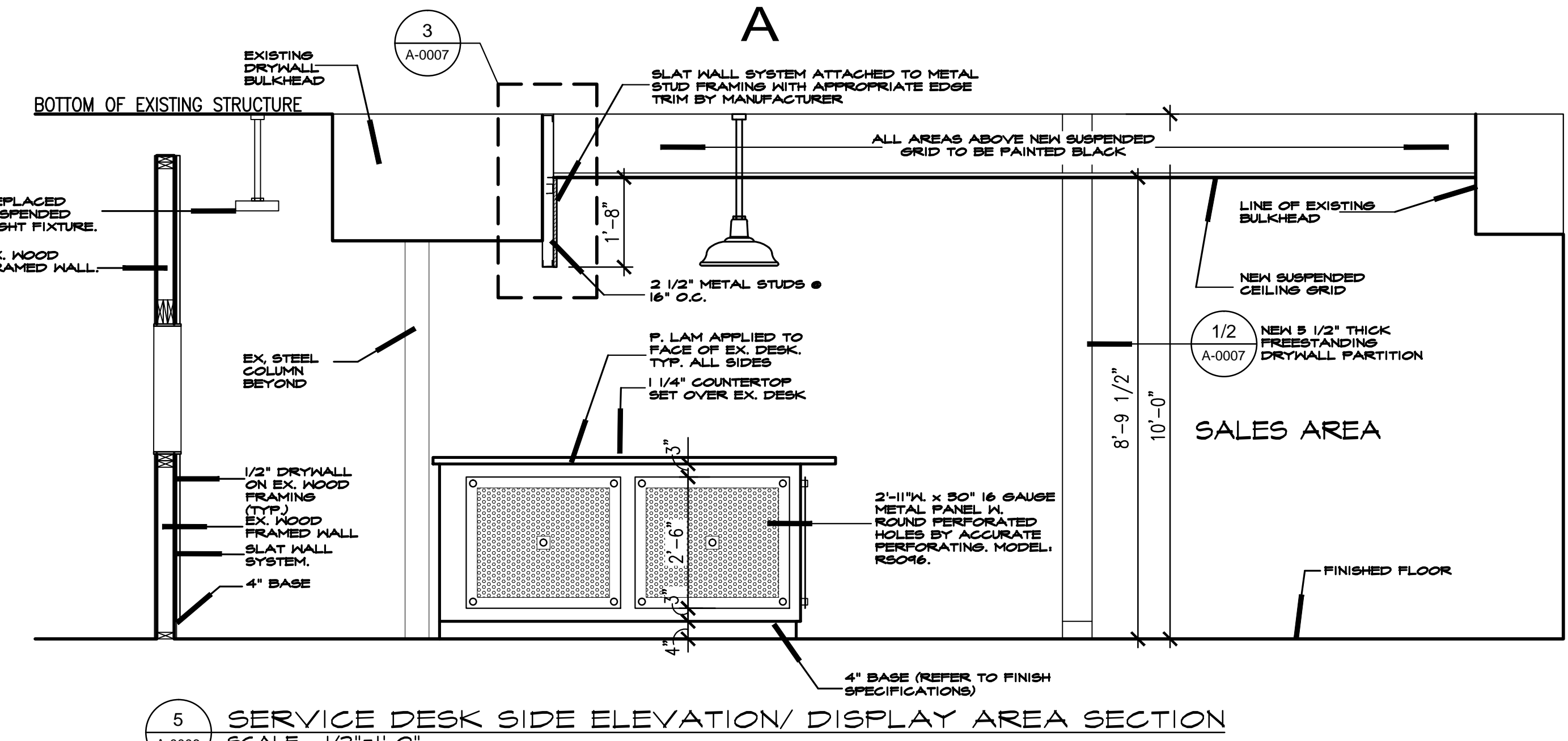
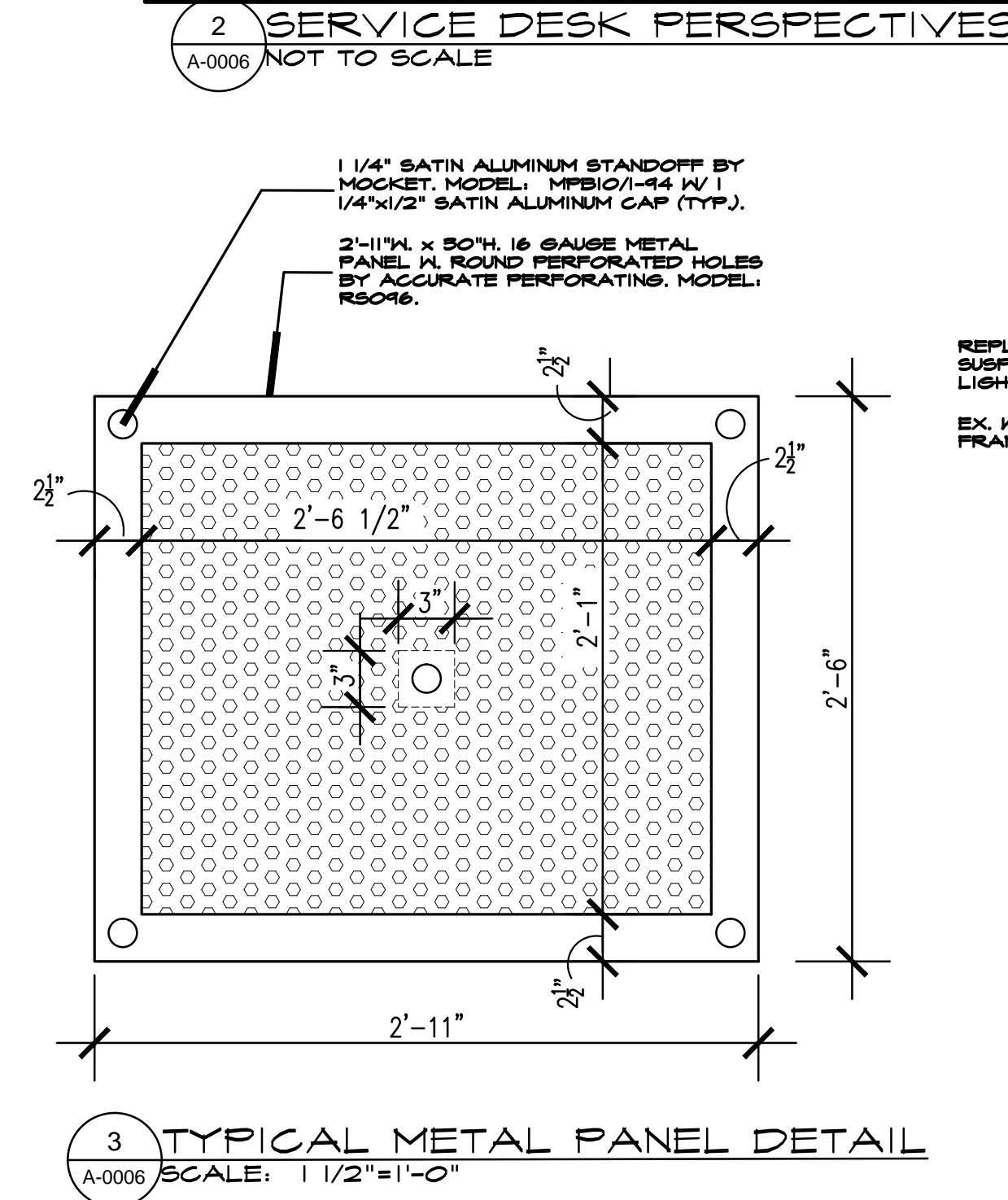
SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
3726 10TH STREET, NE
WASHINGTON, DC 20017
SHEET TITLE: FIRST FLOOR REFLECTED CEILING PLAN

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3612 12TH STREET, NE

SHEET NO:
A-0005



SERVICE DESK SHOP DRAWINGS REQUIRED: CONTRACTOR IS TO PROVIDE FOR THE ARCHITECTS REVIEW, SHOP DRAWINGS DETAILING THE CONSTRUCTION, AND INSTALLATION OF THE NEW METAL PANELS TO THE EX. DESK.



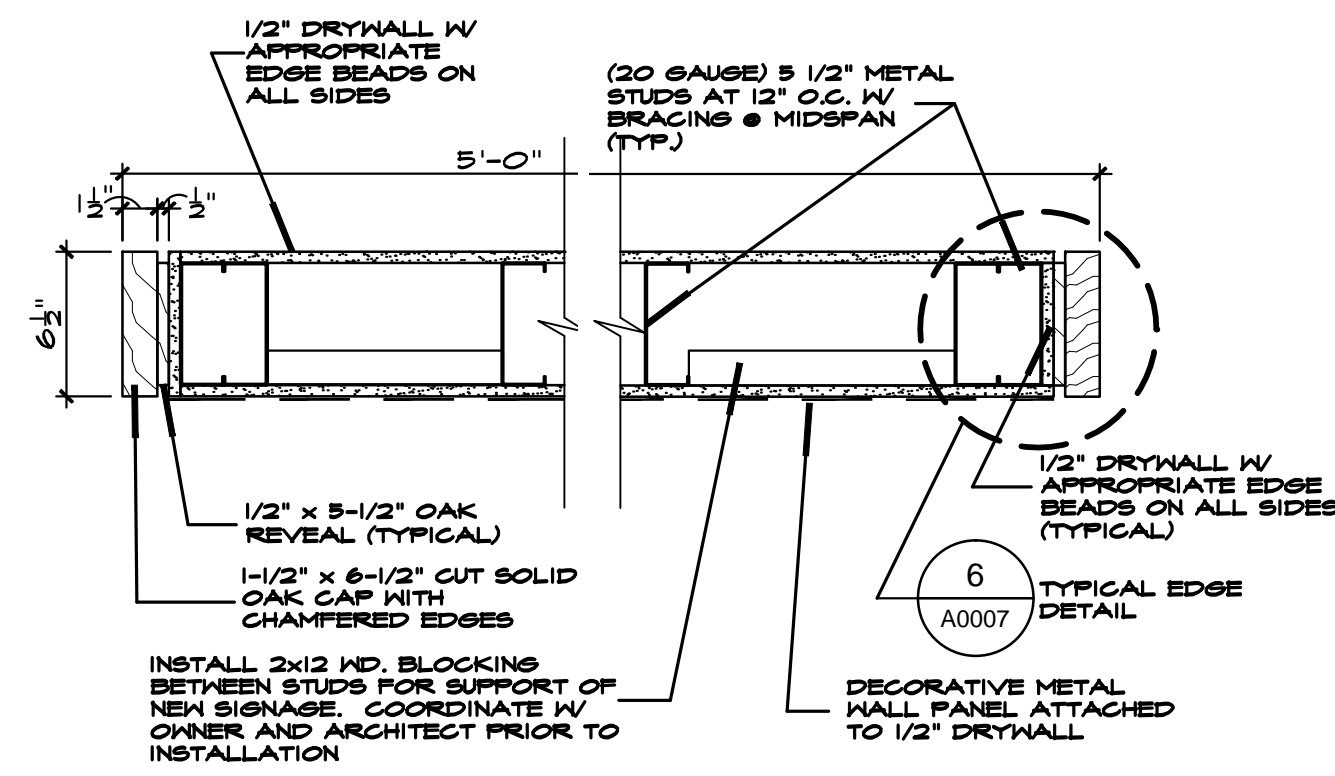
REVISIONS:

PROJECT NO:	
DRAWN BY:	R. RAY JR.
CHECKED BY:	E.J.
DATE:	NOVEMBER 4, 2015

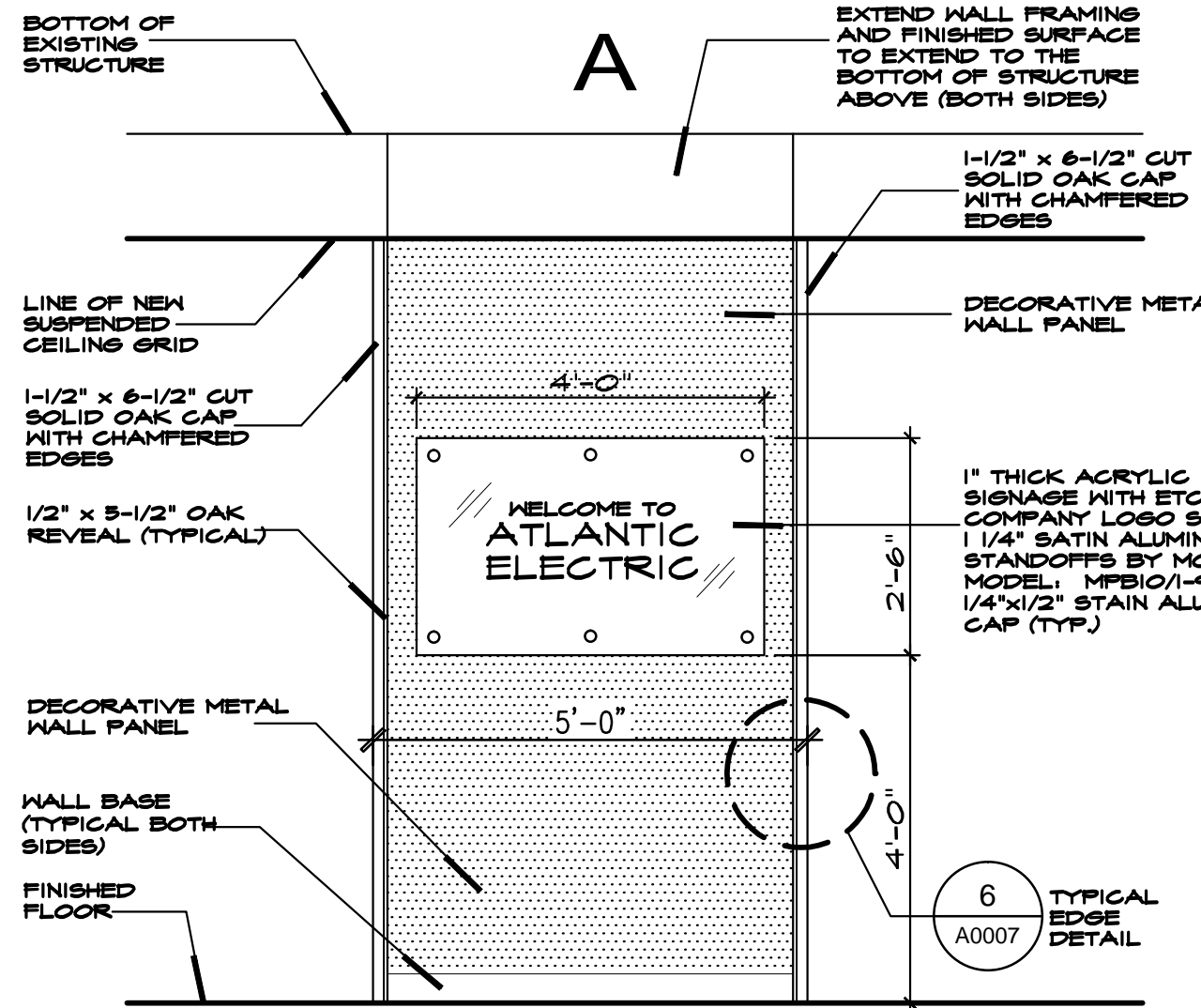
SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
3726 10TH STREET, NE
WASHINGTON, DC 20017
SHEET TITLE: SERVICE DESK PLANS, ELEVATIONS AND DETAILS

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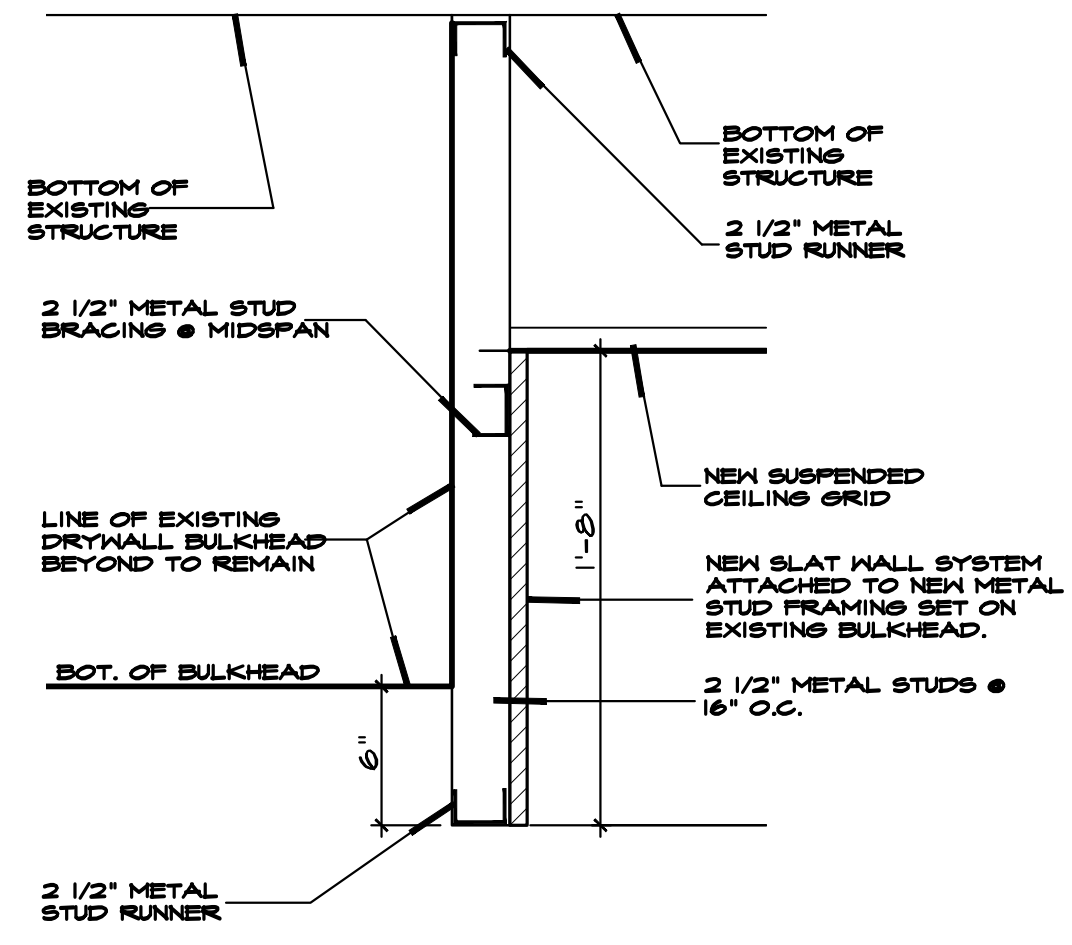
SHEET NO:
A-0006



1 FREESTANDING WALL PLAN
 SCALE: 1 1/2"=1'-0"



2 FREESTANDING WALL ELEVATION
 SCALE: 1/2"=1'-0"



3 BULKHEAD SLAT WALL SECTION
 SCALE: 1/2"=1'-0"

MILLWORK NOTES:
 CONTRACTOR IS REQUIRED TO INSTALL ALL TRIM, BRACING, SUPPORTS, BLOCKING, PANELS, ETC. REQUIRED FOR COMPLETE INSTALLATION OF CABINETS AND COUNTERTOPS

SHOP DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL OF ALL COUNTERTOP AND CABINET INSTALLATIONS THROUGHOUT THE BUILDING PRIOR TO FABRICATION.

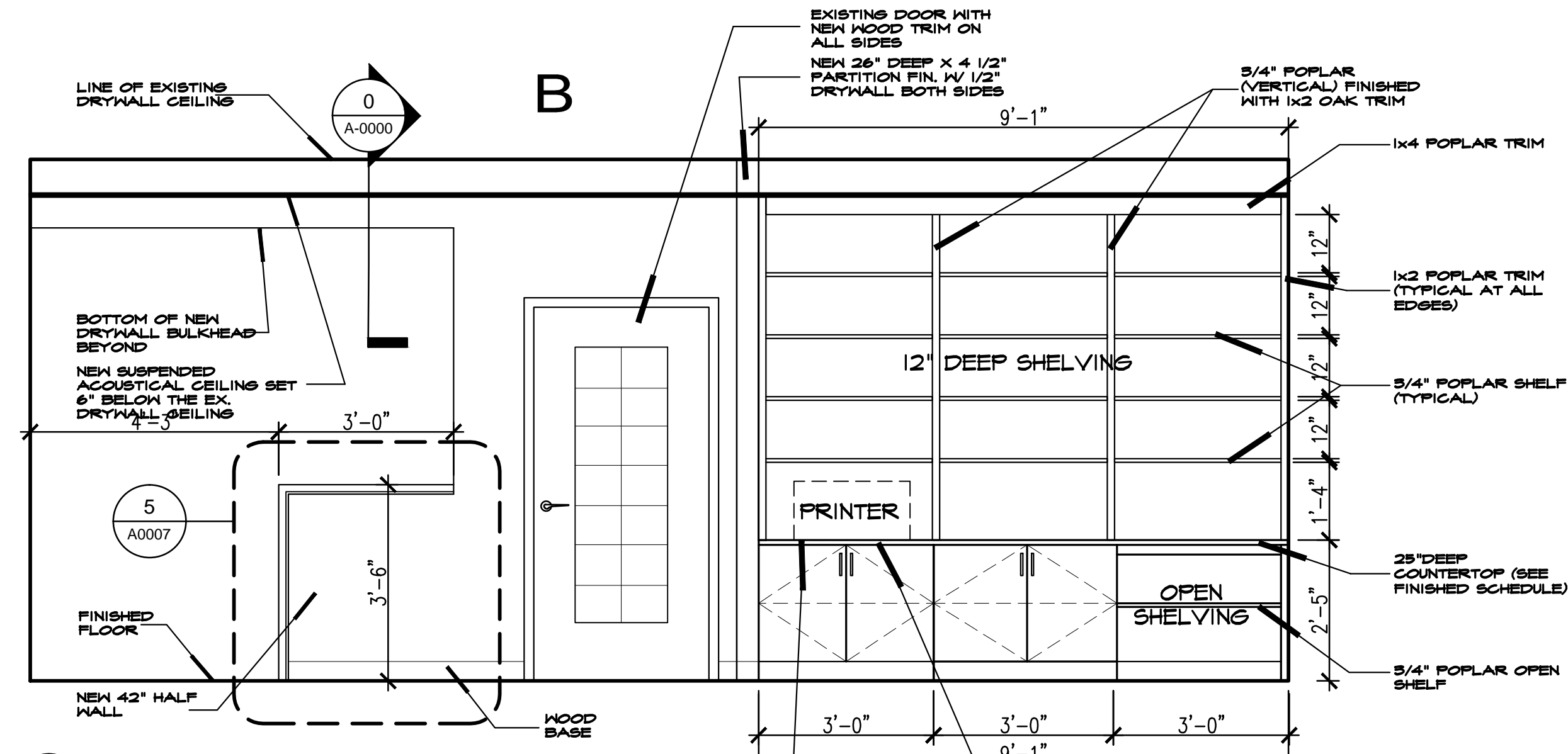
ALL CABINET INSTALLATIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AMERICAN WOODWORKING INSTITUTE (AWI) PREMIUM GRADE CASEWORK STANDARDS.

ALL BASE AND WALL CABINETS ARE TO BE FLAT SLAB PLASTIC LAMINATE OVER MDF UNLESS OTHERWISE NOTED ON DRAWINGS. SEE FINISHED SCHEDULE FOR COLOR AND MATERIAL SELECTIONS

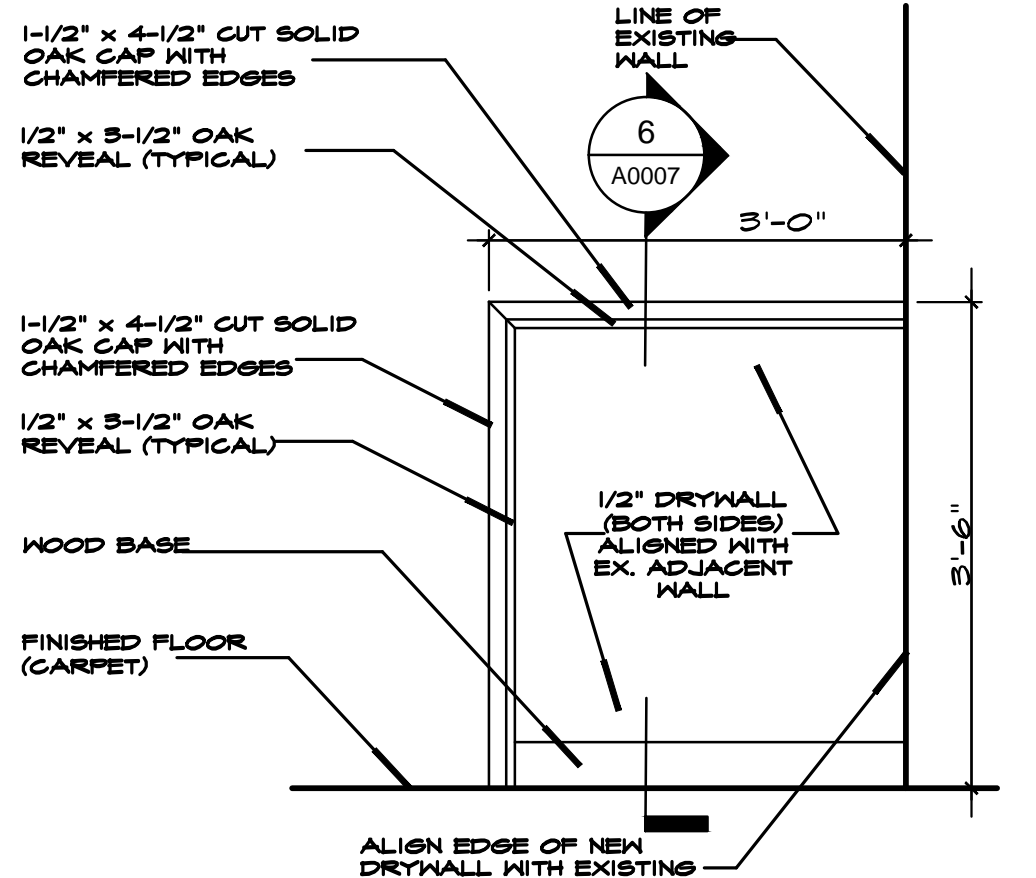
ALL SURFACE MOUNTED BLOCKING FOR CABINETS AND SHELVING TO BE FURNITURE GRADE LUMBER

ALL CABINET HINGES TO BE SPRING LOADED SELF CLOSING HINGES

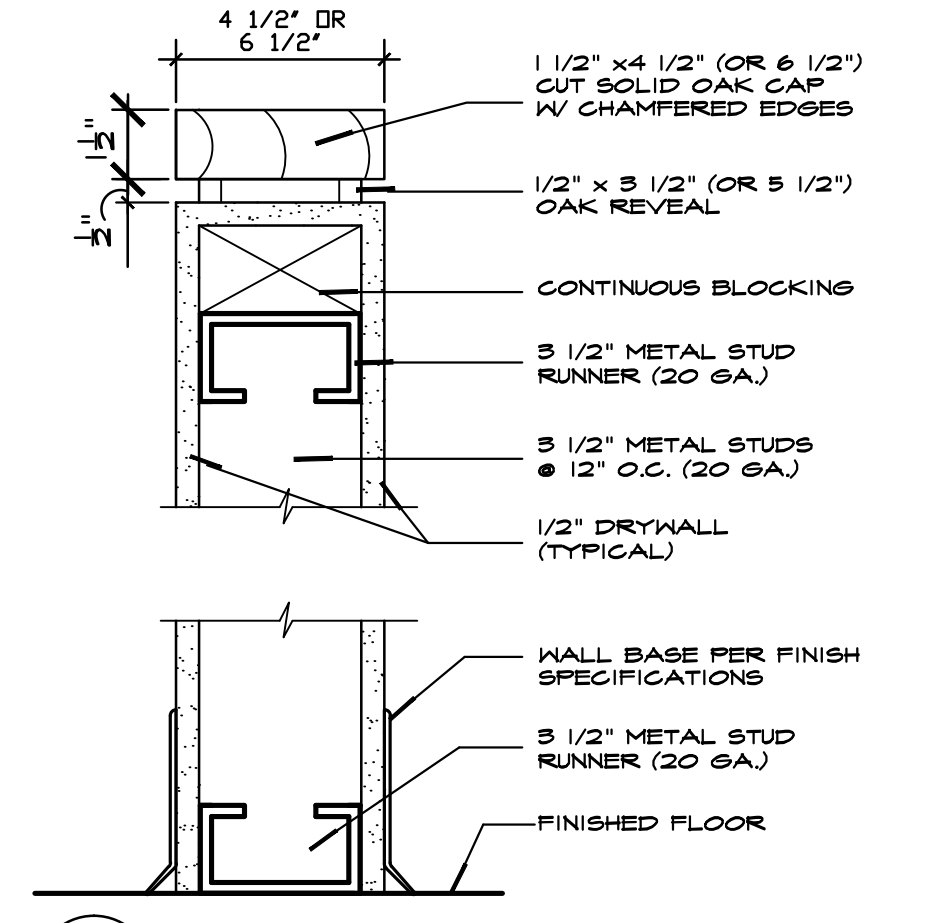
PROVIDE SOUND ABSORBING DOOR PADS ON ALL NEW CABINETRY DOORS AND DRAWERS THROUGHOUT BUILDING



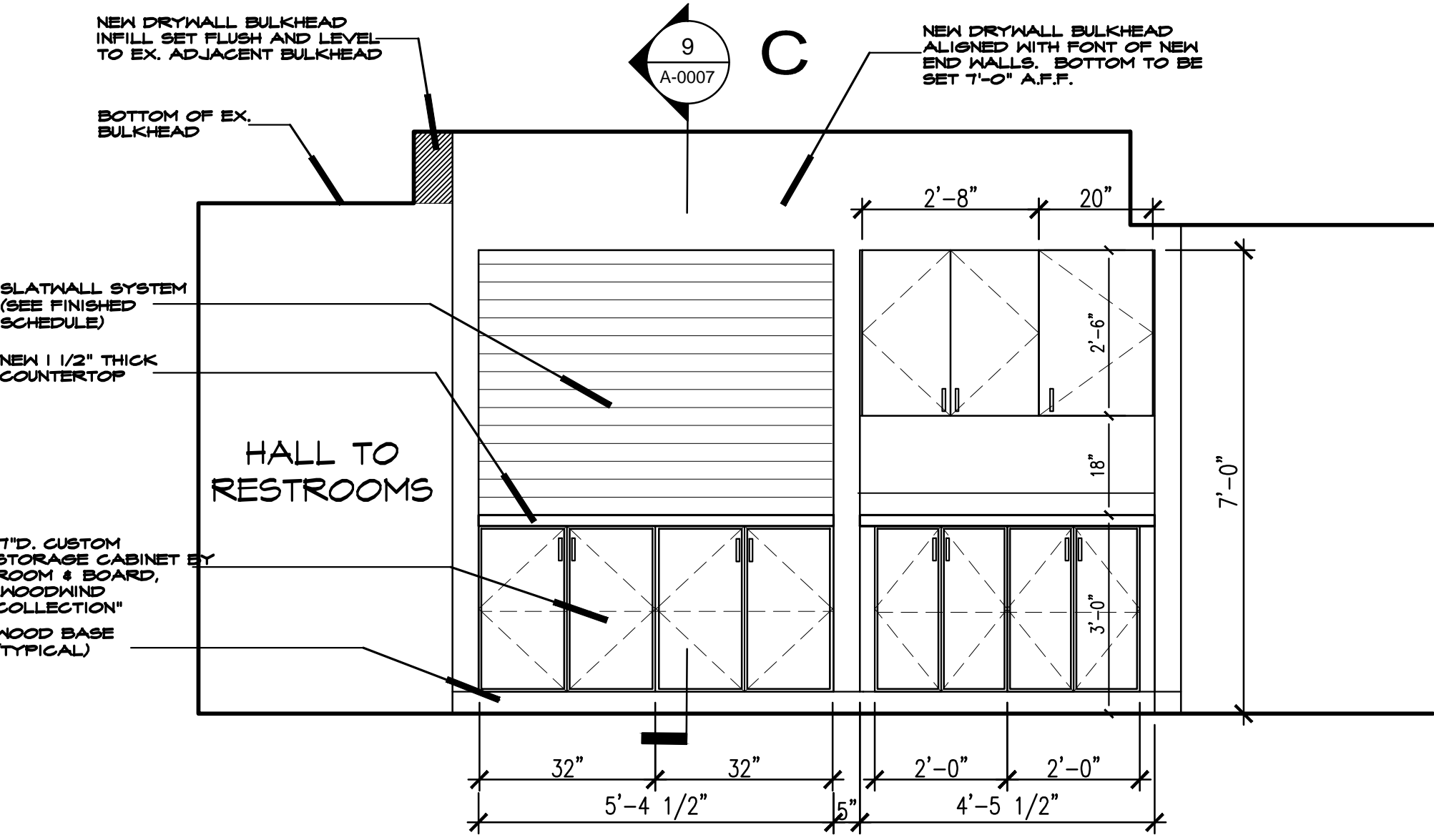
4 SALES AREA WALL ELEVATION
 SCALE: 1/2"=1'-0"



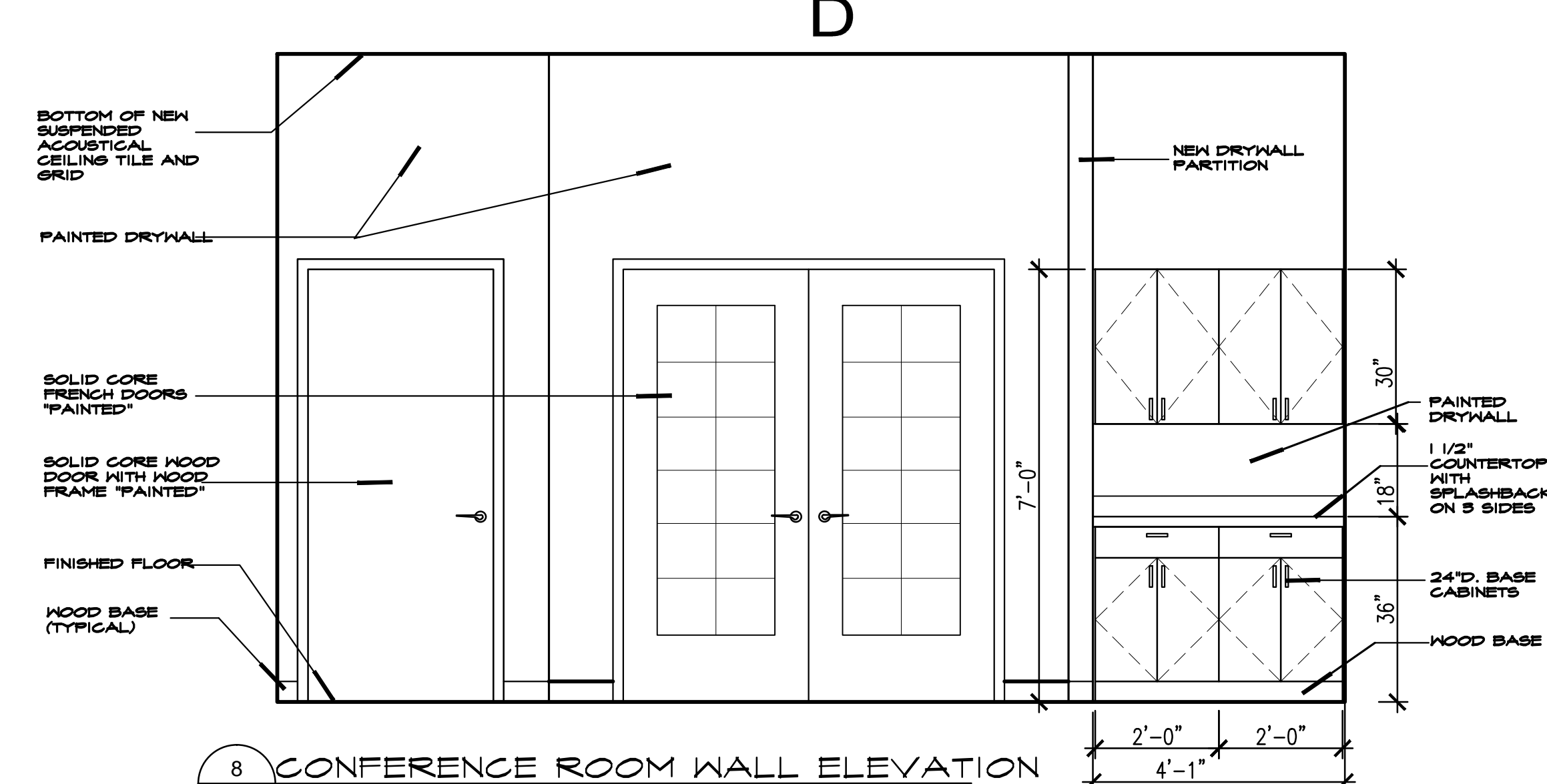
5 TYP. HALF WALL ELEVATION
 SCALE: 3/4"=1'-0"



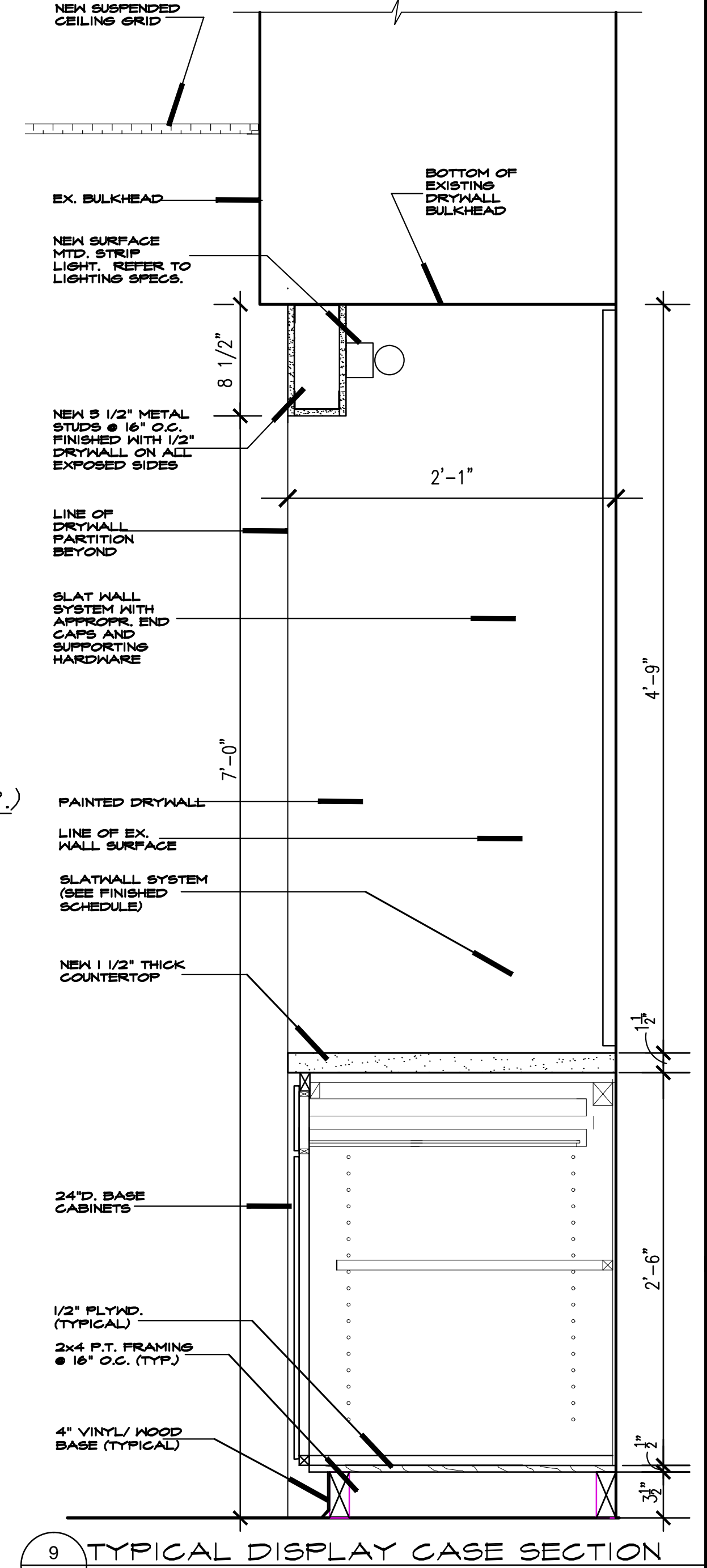
6 WALL CAP DETAIL (TYP.)
 SCALE: 1"=1'-0"



7 DISPLAY/ COFFEE COUNTER ELEVATION
 SCALE: 1/2"=1'-0"



8 CONFERENCE ROOM WALL ELEVATION
 SCALE: 1/2"=1'-0"



9 TYPICAL DISPLAY CASE SECTION
 SCALE: 1 1/2"=1'-0"

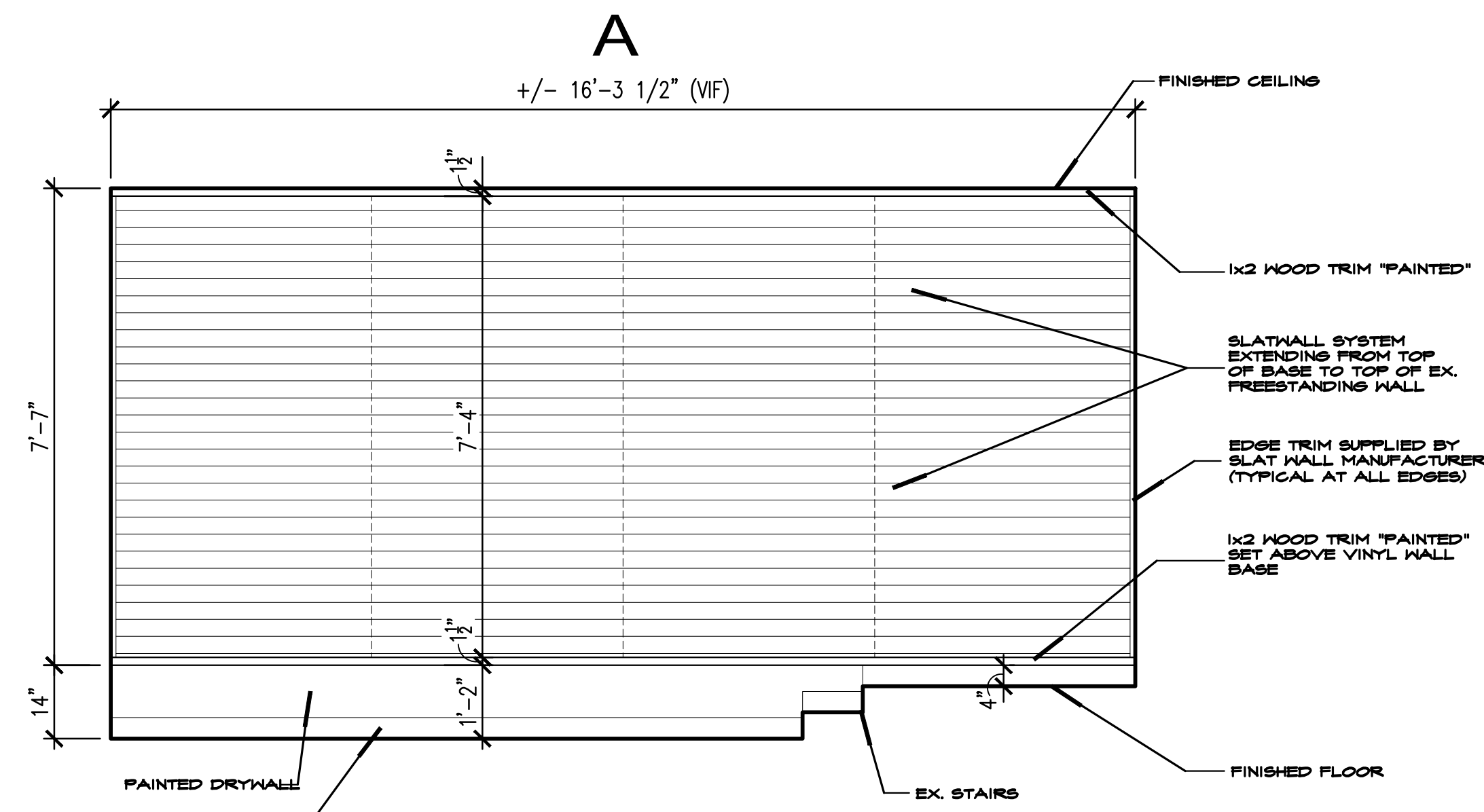
REVISIONS:

PROJECT NO.:	
DRAWN BY:	R. RAY JR.
CHECKED BY:	E.J.
DATE:	NOVEMBER 4, 2015

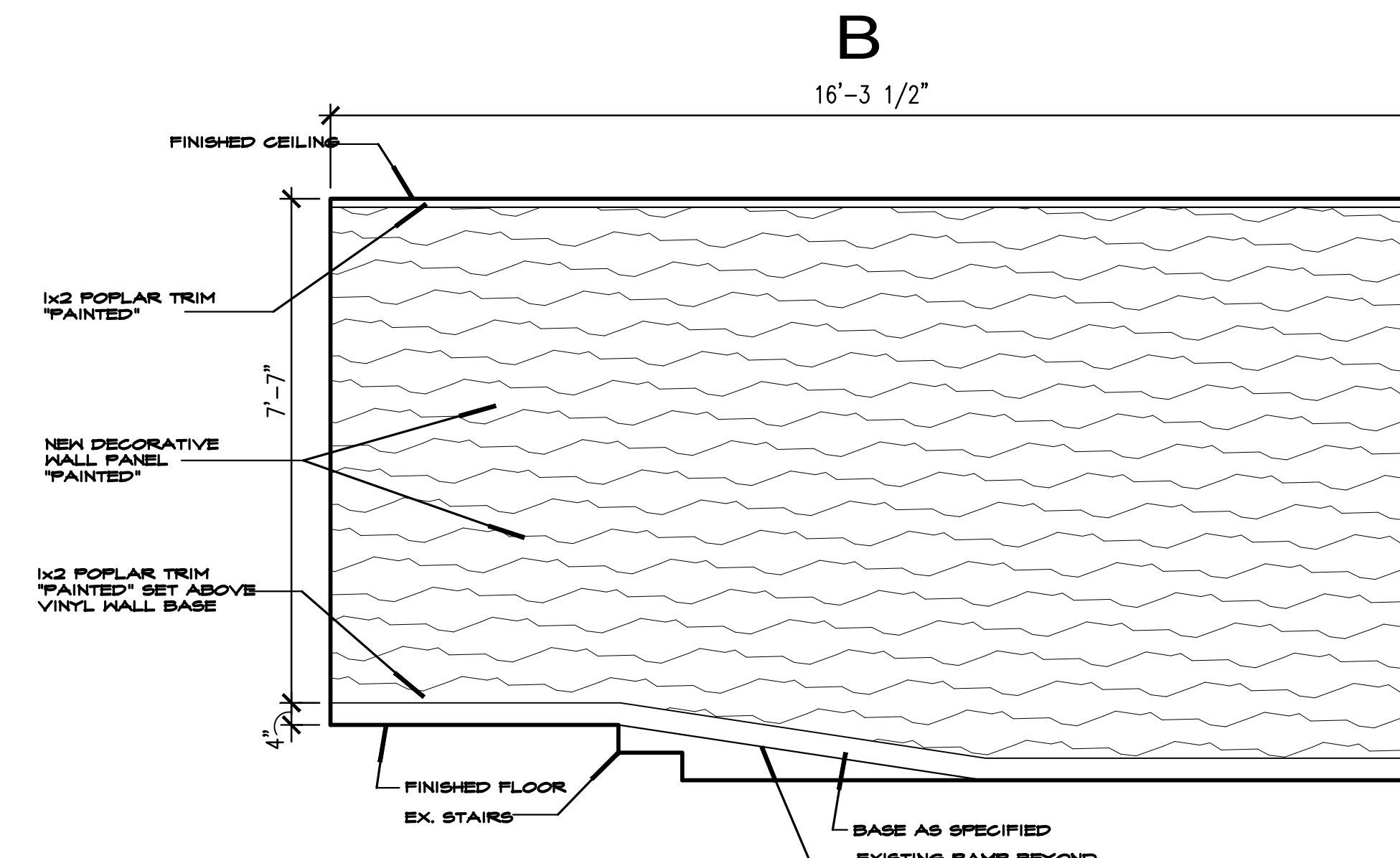
SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
 3726 10TH STREET, NE
 WASHINGTON, DC 20017
 INTERIOR ELEVATIONS AND DETAILS

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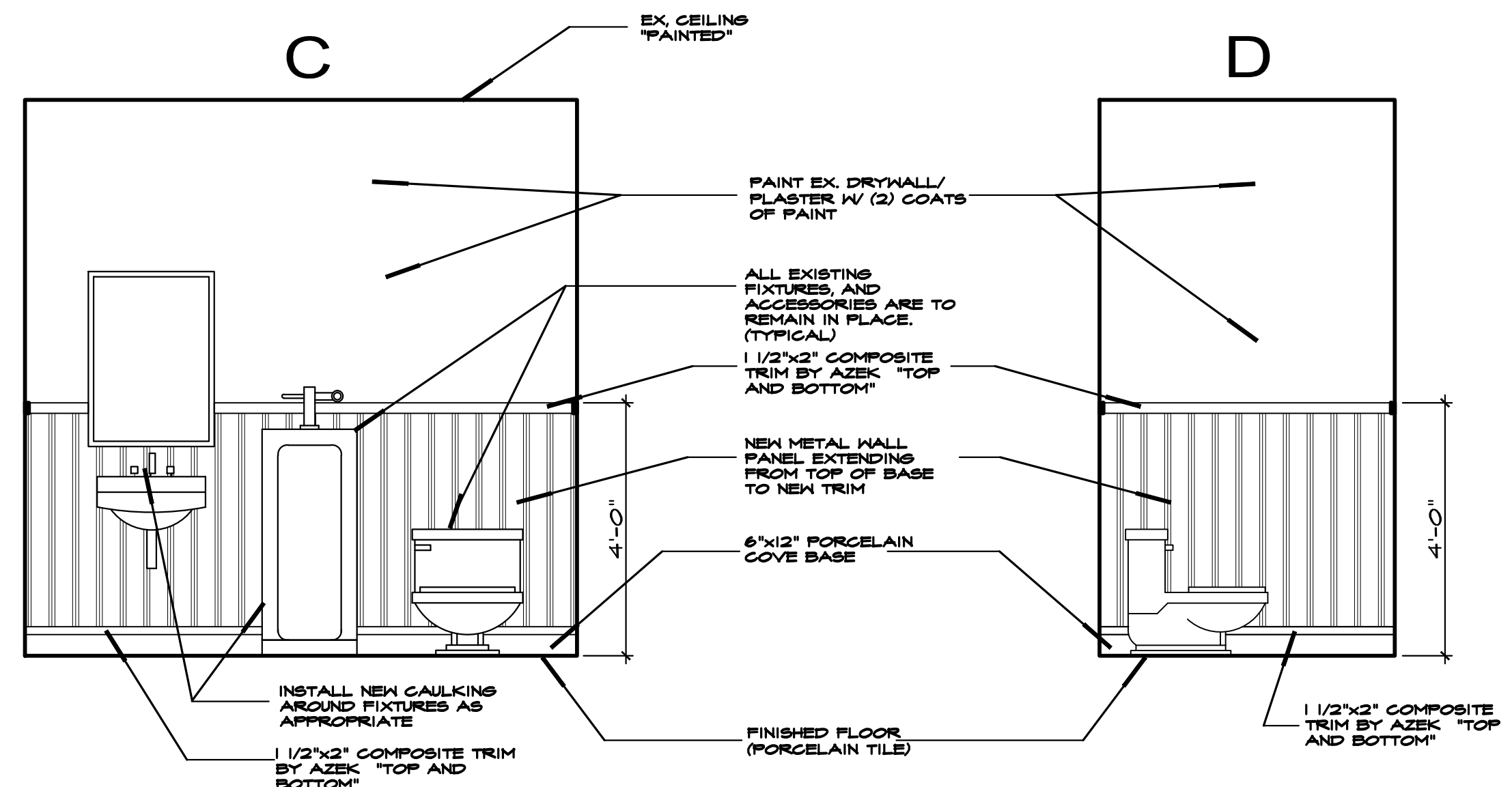
SHEET NO:
A-0007



1 FOYER NORTH WALL ELEVATION
A0008 SCALE: 1/2"=1'-0"

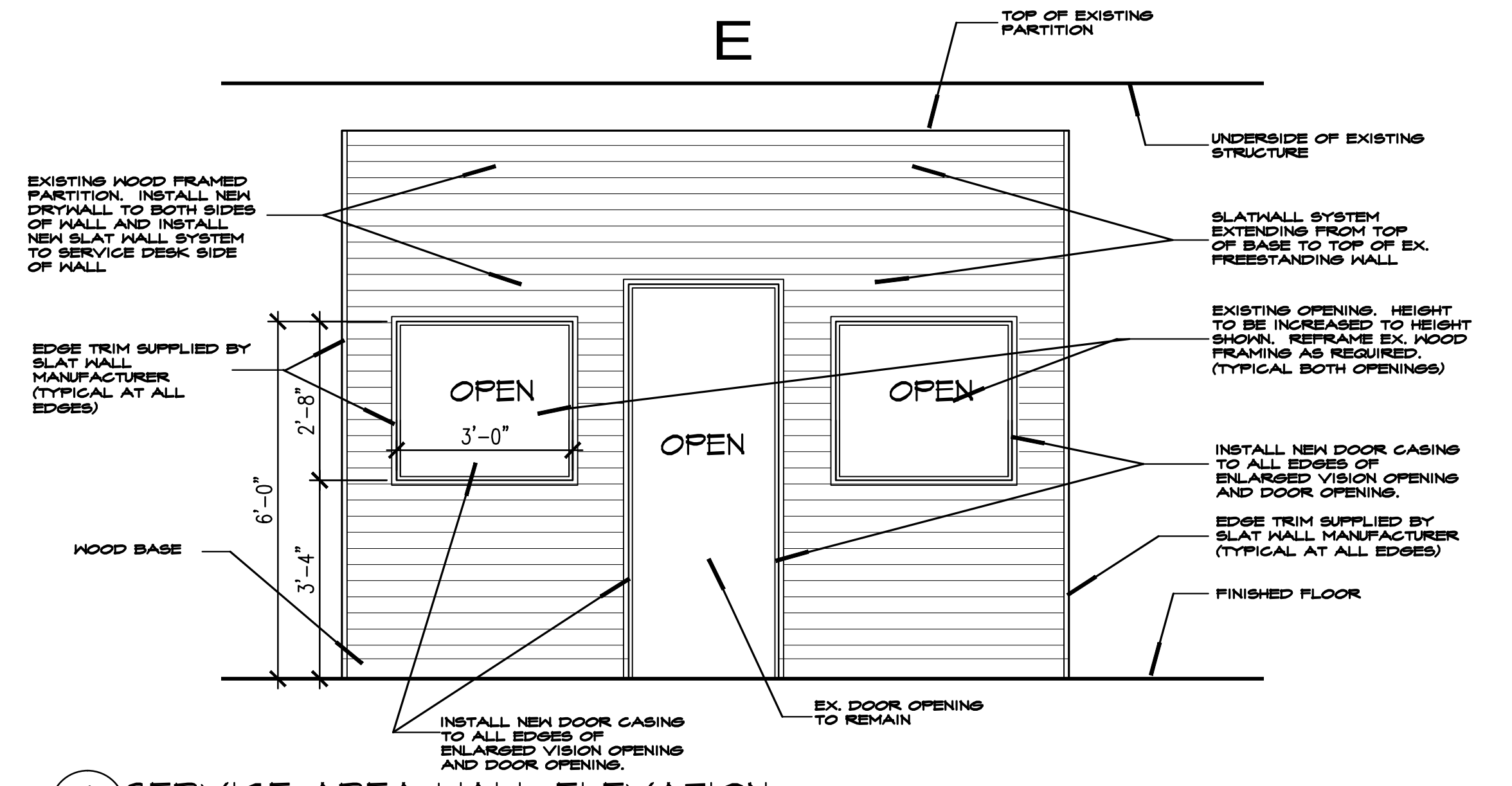


2 FOYER SOUTH WALL ELEVATION
A0008 SCALE: 1/2"=1'-0"

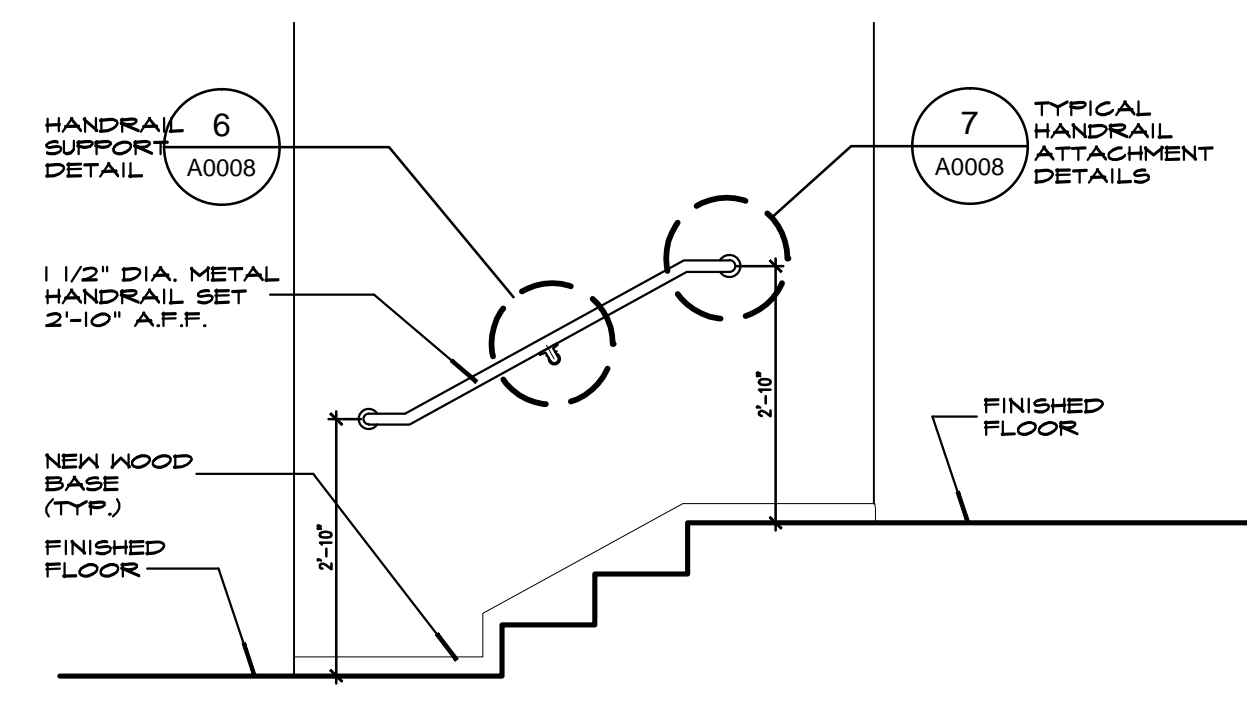


3 TYPICAL BATHROOM ELEVATIONS
A0008 SCALE: 1/2"=1'-0"

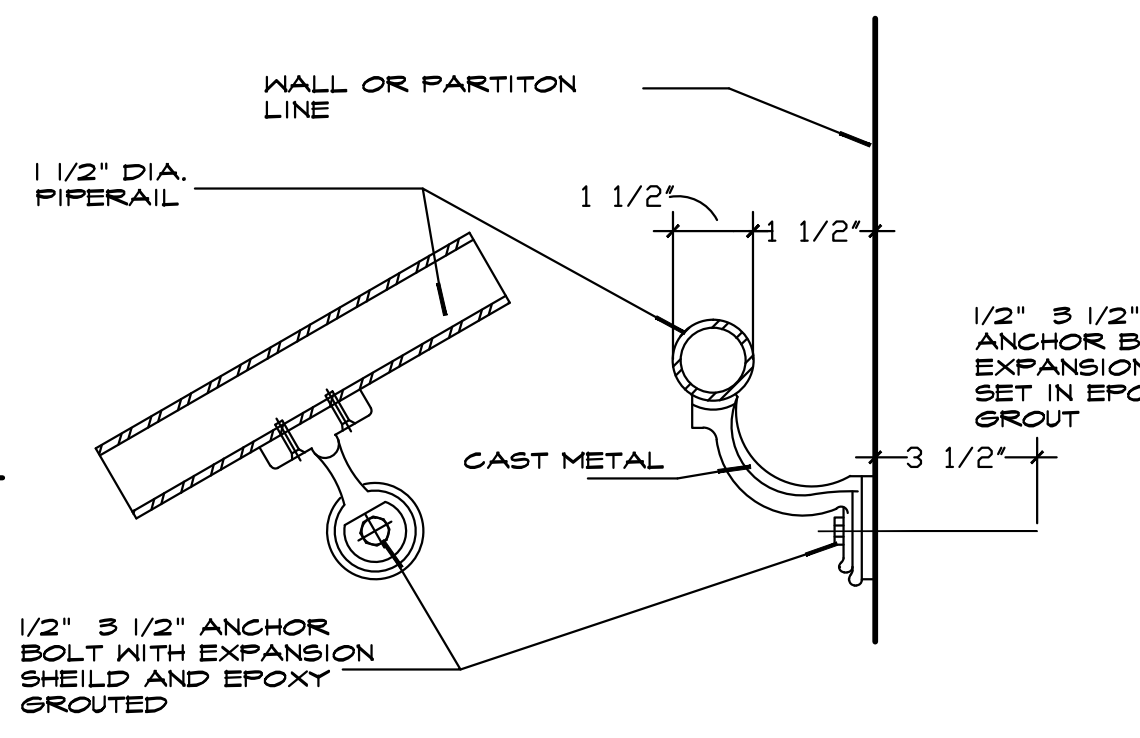
TYPICAL RESTROOM NOTES
INSTALL NEW PORCELAIN FLOOR TILES AS SPECIFIED IN FINISH SPECIFICATIONS.
INSTALL NEW METAL WALL PANELS WITH ASSOCIATED PVC TRIM AS SHOWN IN TYPICAL INTERIOR ELEVATIONS. (REFER TO FINISH SPECIFICATIONS)
PROVIDE CAULKING AS REQUIRED AROUND ALL NEW FIXTURES, EQUIPMENT AND ACCESSORIES AFTER INSTALLATION OF NEW METAL WALL SURFACE
ALL EX. FIXTURES, EQUIPMENT AND ACCESSORIES ARE TO BE REMOVED AS REQUIRED, TO COMPLETE NEW WALL SURFACE INSTALLATIONS, AND ARE TO BE RE-INSTALLED AT THE COMPLETION OF THE NEW INSTALLATIONS
IN WOMEN'S RESTROOM, CONTRACTOR IS REQUIRED TO PAINT THE EX. EXPOSED PLUMBING LINES COLOR SELECTED BY ARCHITECT.
CONTRACTOR IS REQUIRED TO CLEAN ALL EXISTING FIXTURES TO REMAIN



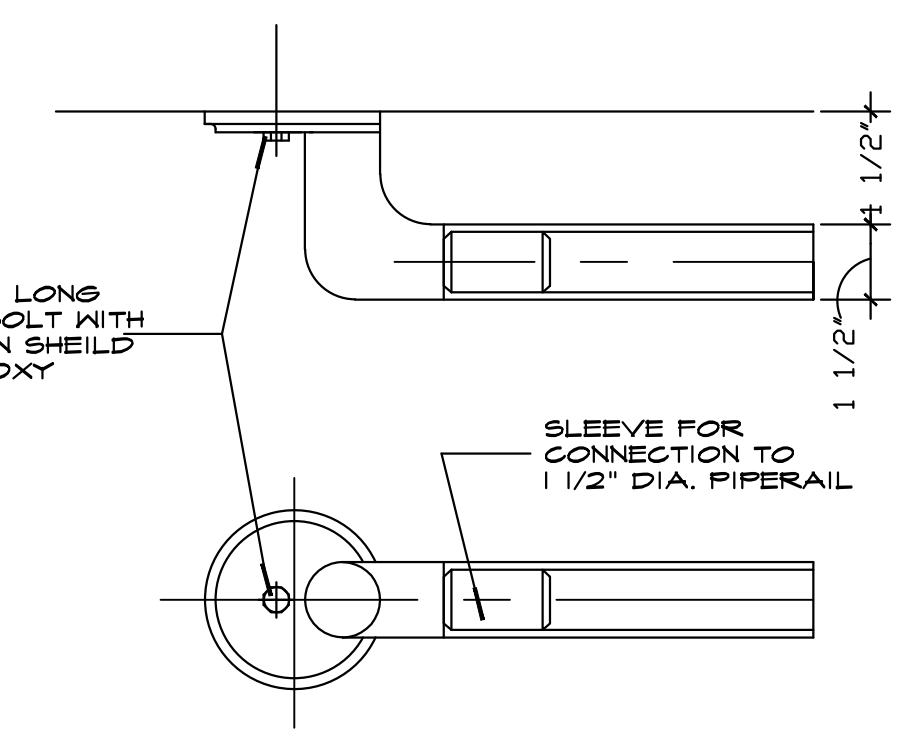
4 SERVICE AREA WALL ELEVATION
A0008 SCALE: 1/2"=1'-0"



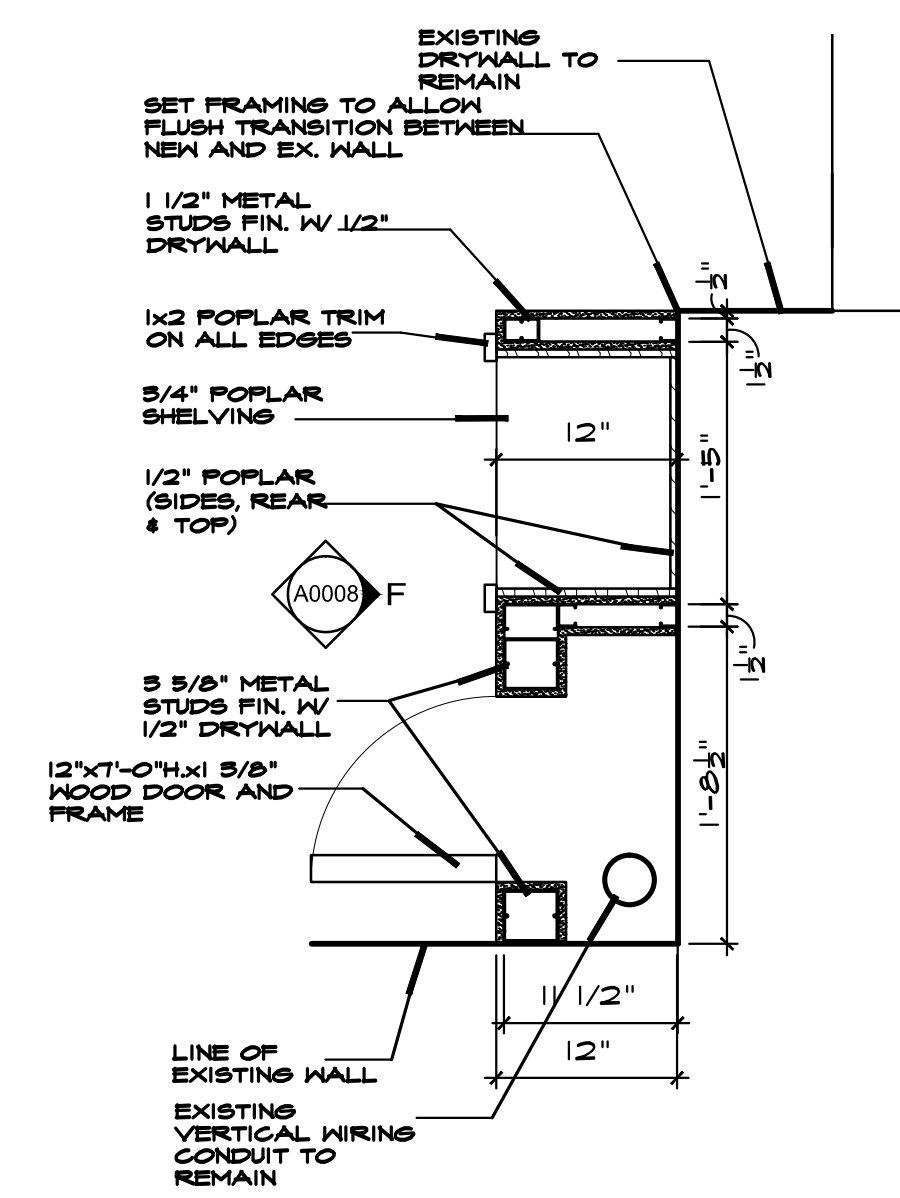
5 HANDRAIL ELEVATION
A0008 SCALE: 1/4"=1'-0"



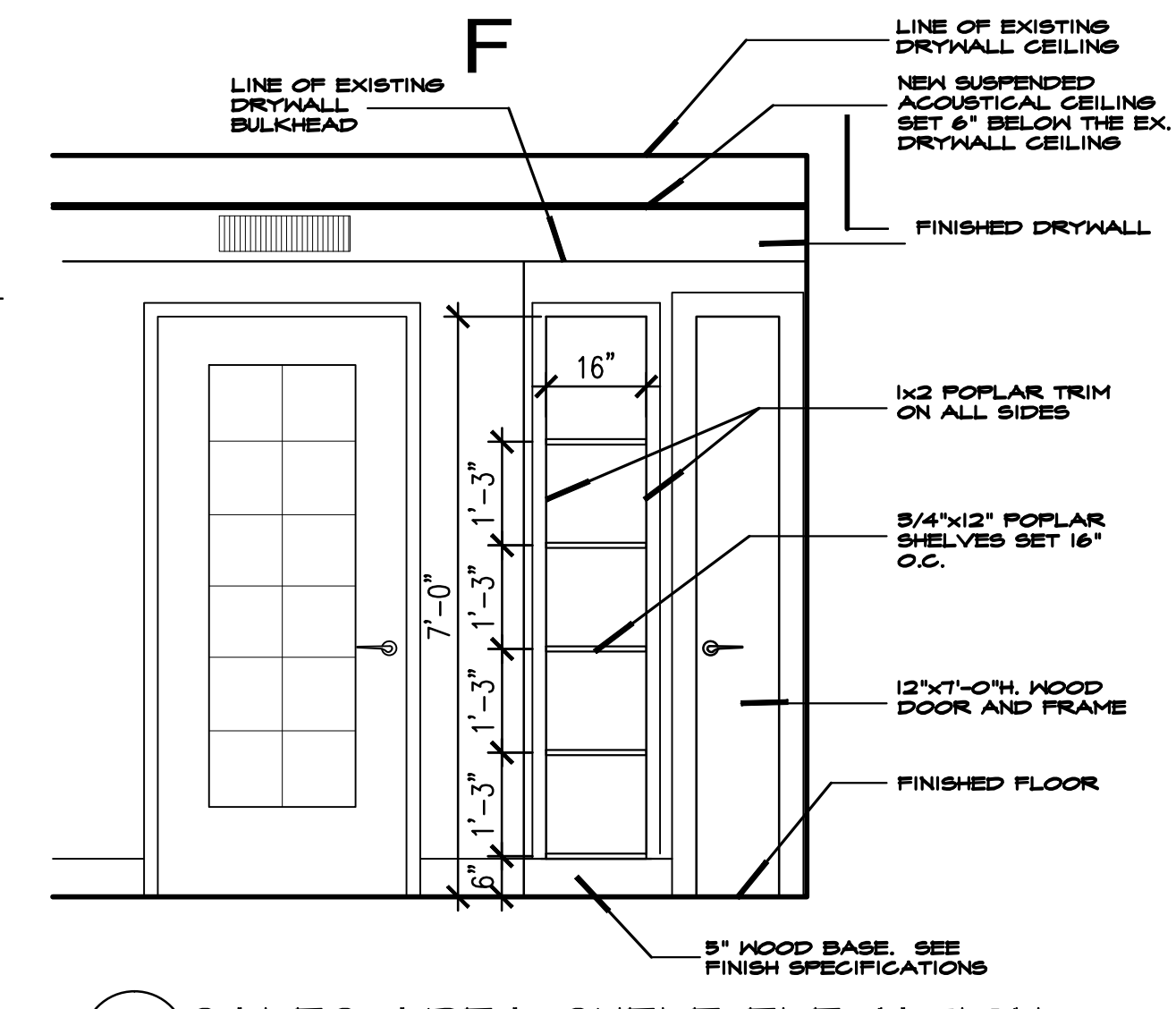
6 INTERMEDIATE HANDRAIL SUPPORT DETAIL
A0008 NOT TO SCALE



7 HANDRAIL END WALL SUPPORT DETAIL
A0008 NOT TO SCALE



8 SALES AREA SHELF PLAN
A0008 SCALE: 1"=1'-0"



9 SALES AREA SHELF ELEVATION
A0008 SCALE: 1/2"=1'-0"

REVISIONS:

PROJECT NO:	
DRAWN BY:	R. RAY, JR.
CHECKED BY:	E.-J.
DATE:	NOVEMBER 4, 2015

SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
3726 10TH STREET, NE
WASHINGTON, DC 20017
INTERIOR ELEVATIONS AND DETAILS

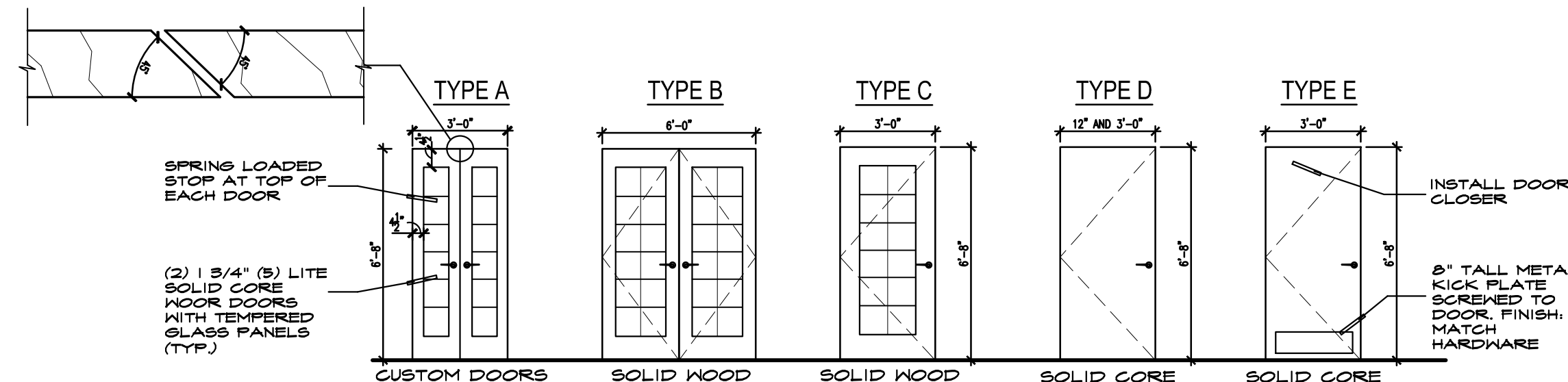
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SHEET NO:
A-0008

OPENING NO.	DOOR			FRAME				HDWR. SET	REMARKS	
	SIZE			MAT.	TYPE	DETAILS				
	W.	H.	THK.			JAMB	HEAD			THR.
1	6'-0"	8'-8"	3/4"	SCWD	B	WOOD			H2	
2	3'-0"			SCWD	D	WOOD			H1	
3	3'-0"			SCWD	A	WOOD			H3	VERIFY EX. OPNG. WIDTH AND HT. PRIOR TO ORDERING
4	2'-2"			SCWD	E	WOOD				
5	2'-2"			SCWD	E	WOOD				
6	3'-0"			SCWD	C	WOOD				
7	2'-10"			METAL	D	METAL				(1 HR. RATED) VERIFY EX. OPNG. WIDTH, HT. AND FRAME TYPE PRIOR TO ORDERING
8	12"			SCWD	D	WOOD				

SCWD = SOLID CORE WOOD
DOOR SCHEDULE
 SCALE: 1/4"=1'-0"

NEW DOOR HARDWARE TYPES	
H1	NON LOCKING
H2	KEYED LOCK
H3	NON TURNING
H4	PRIVACY LOCK



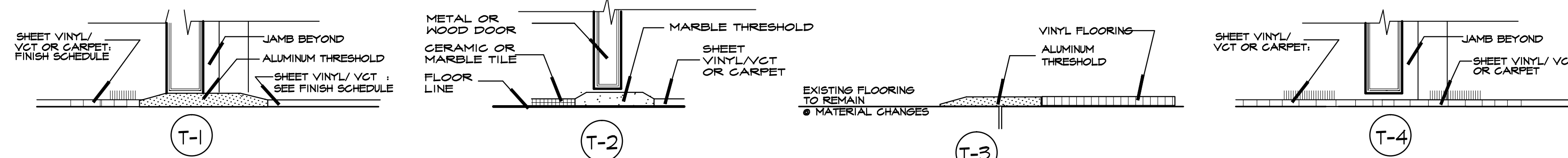
DOOR TYPES
 SCALE: 1/4"=1'-0"

HARDWARE REPLACEMENT NOTES:

ALL EXISTING SWINGING DOORS ARE TO RECEIVE NEW DOOR HARDWARE (SCHLAGE, "JAZZ LEVER") AS SPECIFIED BELOW
 OFFICES: NON LOCKING LEVER
 BATHROOM: PRIVACY LOCKING LEVER
 CLOSETS: NON LOCKING LEVER

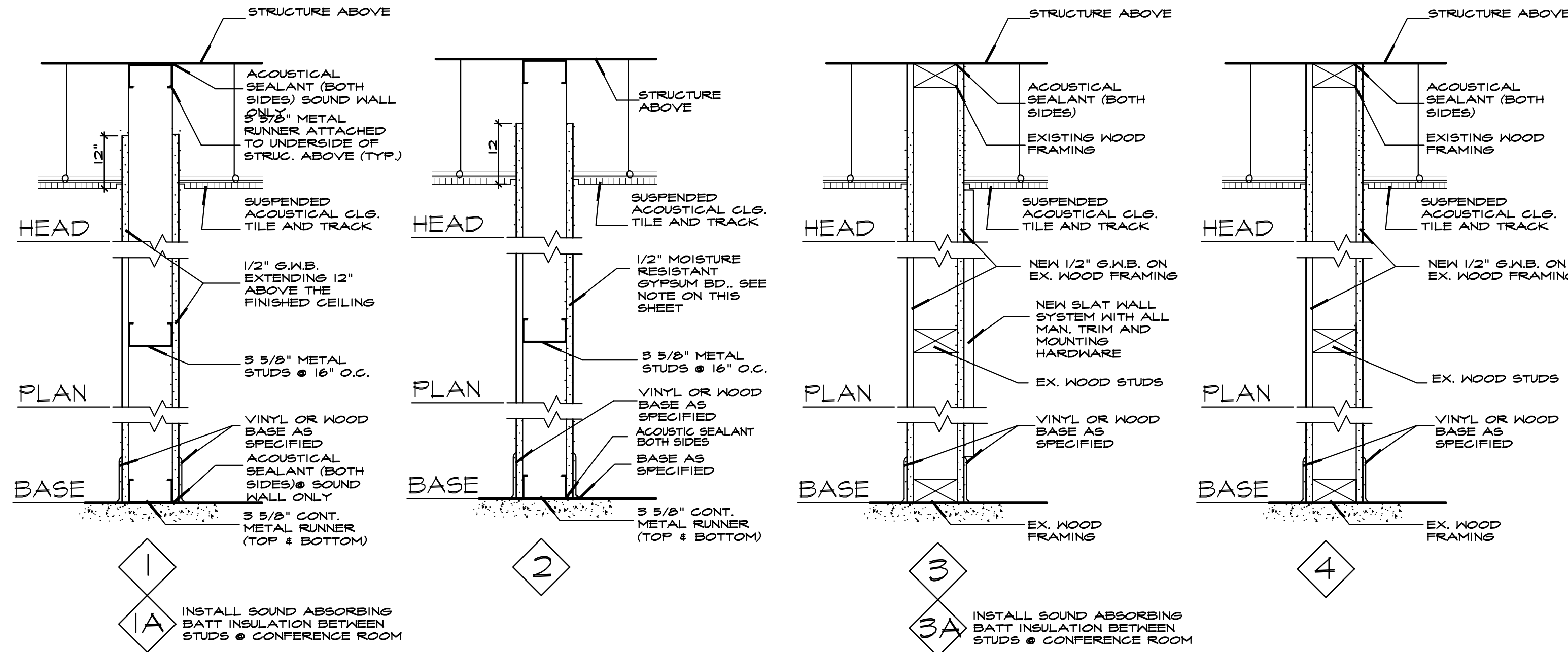
NEW DOOR NOTES:

ALL NEW DOORS TO BE UNDERCUT TO ALLOW FOR AIR FLOW
 ALL DOOR HARDWARE TO BE MANUFACTURED BY SCHLAGE UNLESS OTHERWISE NOTED.
 FINISH: SATIN NICKEL
 LEVER STYLE: JAZZ LEVER
 ALL DOORS TO HAVE BASEBOARD STOP BY IVES. MODEL # AS44T OR EQUAL. FINISH TO MATCH DOOR HARDWARE FINISH
 ALL DOORS TO BE PAINTED UNLESS OTHERWISE DIRECTED BY ARCHITECT. REFER TO FINISH SPECIFICATIONS
 NEW CUSTOM FRENCH DOORS TO HAVE SPRING LOADED STOP SET IN FRAME ABOVE EACH DOOR, WITH APPROPRIATE STRIKE SET IN TOP OF EACH DOOR

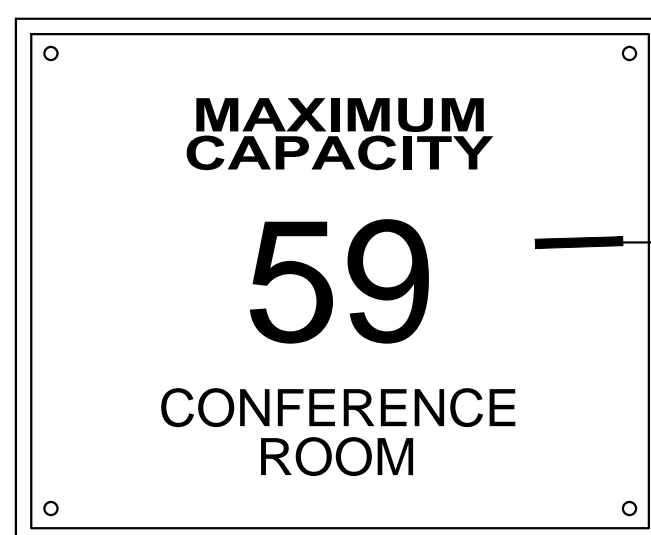


THRESHOLD TYPES
 SCALE: NTS

THRESHOLD NOTE:
 THRESHOLDS ARE TO BE PROVIDED FOR ALL FLOOR SURFACE TRANSITIONS. ALL THRESHOLDS TO BE MANUFACTURED BY SCHLUTER SYSTEMS UNLESS OTHERWISE AUTHORIZED BY ARCHITECT.



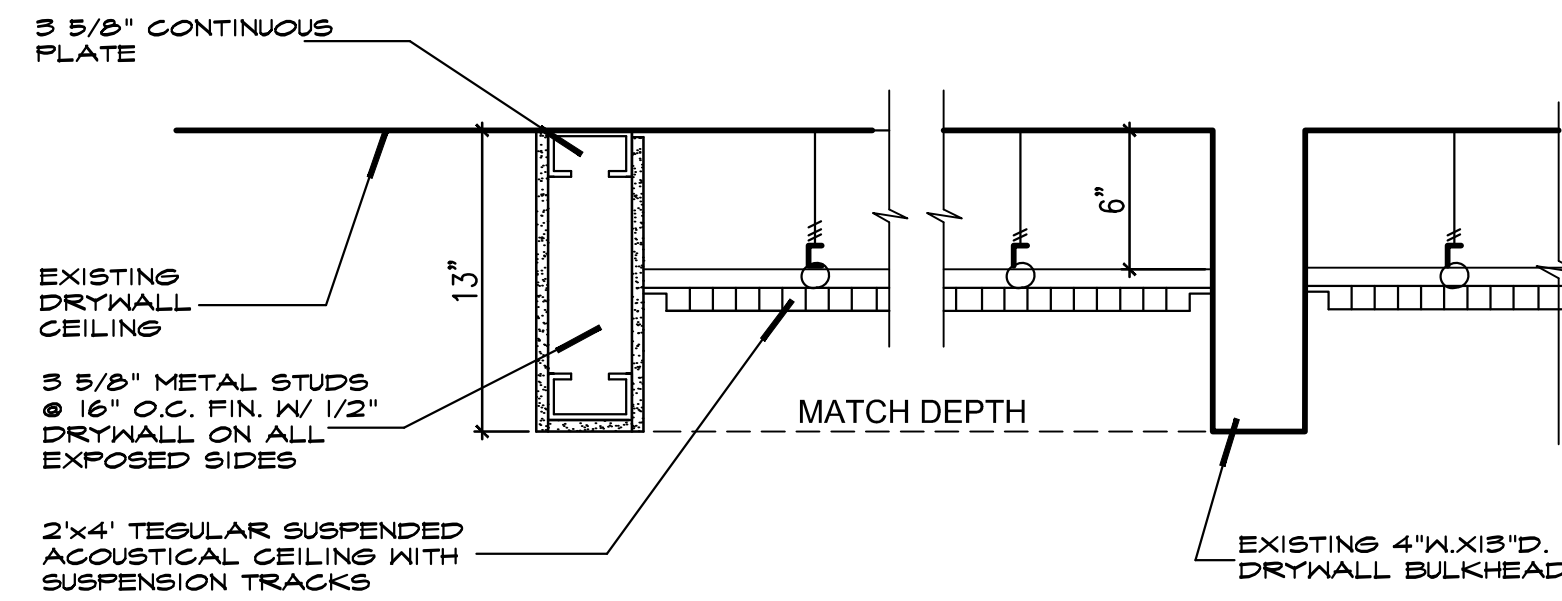
PARTITION TYPES
 SCALE: 1/4"=1'-0"



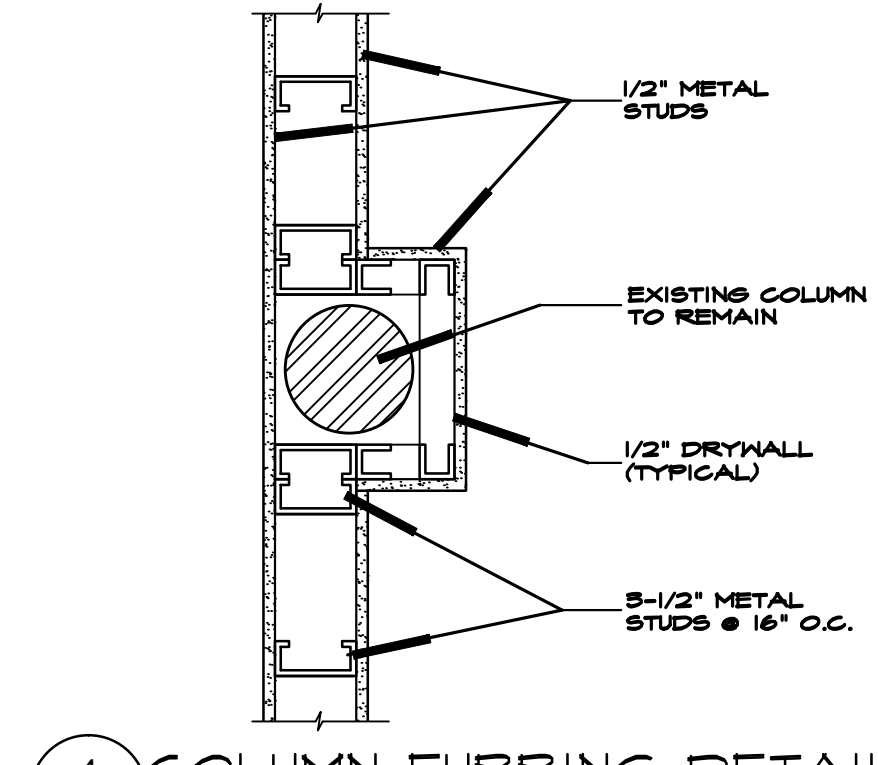
2 PLACARD DETAIL (CONFERENCE RM.)
 A-0005 NOT TO SCALE

OCCUPANCY SIGN SECURED TO WALL WITH (4) CONCEALED TAMPERPROOF SCREWS AND EXPANSION SLEEVES- SIZE AS REQUIRED BY THE DC ZONING DEPARTMENT

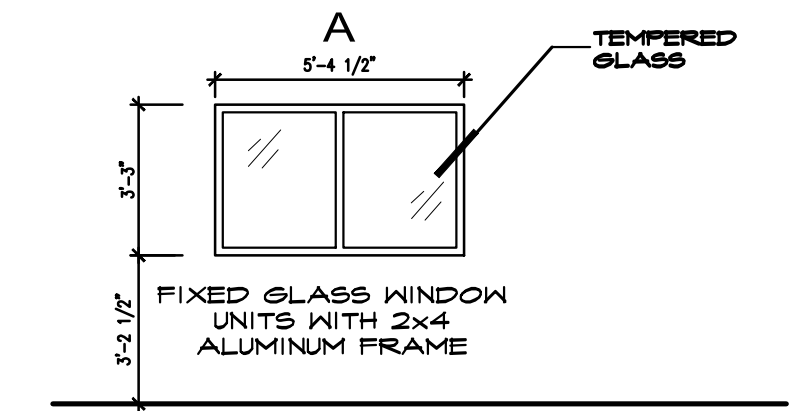
ALL LETTERS TO BE 1" HIGH (MIN.) AND NUMERALS 1 1/2" HIGH (MIN.)



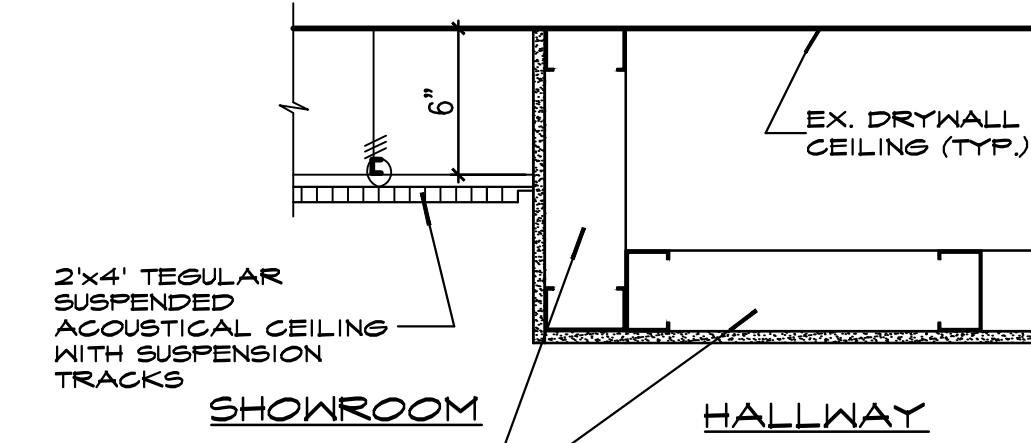
2 BULKHEAD/ CEILING DETAIL
 A-0005 SCALE: 1 1/2"=1'-0"



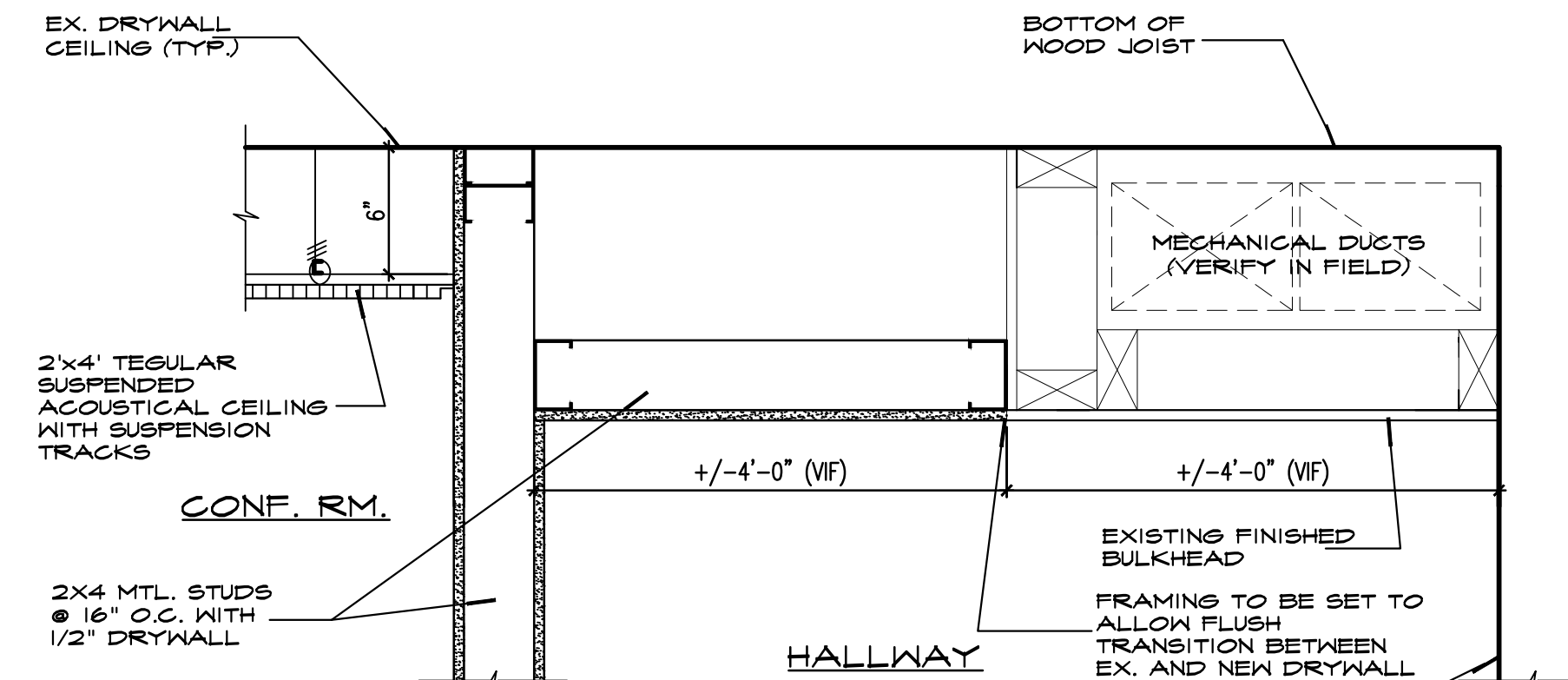
4 COLUMN FURRING DETAIL
 A-0009 SCALE: 1/2"=1'-0"



WINDOW TYPES
 SCALE: 1/4"=1'-0"



1 BULKHEAD/ CEILING DETAIL
 A-0005 SCALE: 1 1/2"=1'-0"



3 BULKHEAD/ CEILING DETAIL
 A-0005 SCALE: 1 1/2"=1'-0"

REVISIONS:

PROJECT NO.:	
DRAWN BY:	R. RAY, JR.
CHECKED BY:	E.J.
DATE:	NOVEMBER 4, 2015

SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
 3726 10TH STREET, NE
 WASHINGTON, DC 20017
 DOOR, WINDOW AND WALL TYPES

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SHEET NO:
A-0009

INTERIOR FINISHES LEGEND					
CODE NUMBER	FINISH	VENDORS & DISTRIBUTORS	MODELS/SPECIFICATIONS	REMARKS	GENERAL USE/NOTES
INTERIOR PAINTS					
PT-01	PAINT ACRYLIC	DURON	-----	-----	RESTROOM WALLS
PT-02	PAINT ACRYLIC	DURON	-----	-----	GENERAL WALL COLOR
PT-03	PAINT ACRYLIC	DURON	-----	-----	RESTROOM WALL COLOR
PT-04	PAINT ACRYLIC	DURON	-----	-----	CONFERENCE ROOM WALL COLOR
PT-05	PAINT ACRYLIC	DURON	-----	-----	CEILING PAINT
PT-06	PAINT ACRYLIC	DURON	-----	-----	DOOR COLOR
PT-07	PAINT ACRYLIC	DURON	-----	-----	WOOD BASE AND DOOR TRIM
PT-08	PAINT ACRYLIC	DURON	-----	-----	AREAS ABOVE CEILING IN SERVICE AREA
PT-09	PAINT ACRYLIC	DURON	-----	-----	-----
WALLCOVERING/ WALL FINISHES					
WC-01	SALV. CORRUGATED METAL WALL PANEL		RIB HEIGHT: 1/8" DEEP 24 GAUGE SMOOTH	WITH CONCEALED FASTENERS	RESTROOM WALLS SET IN VERTICAL DIRECTION
WC-02	METAL WALL PANEL	MOZ METAL PRODUCTS	STAINLESS STEEL, MACHINE ETCHED GRAIN, LINEN	COLOR: INDIAN	FREESTANDING WALL FINISH
WC-03	DECORATIVE WALL PANEL	INTERLAM, INC	MODEL: SOT 405	COLOR: TBD	FOYER WALL
WC-04	SLAT WALL SYSTEM	OUTWATER PLASTICS, INC	WOOD SLAT WALL PANELS W/ ALUMINUM INSERTS. PART# SW48-AL-TM	FINISH: ALMOND	
FLOOR FINISHES					
FLR-01	LUXURY VINYL FLOOR PLANKS	FATCRAFT	6"X48" PLANK FLOORING STYLE BOONVILLE SAND VIK	COLOR: 50160 COFFEE	SERVICE AREA/ ENTRANCE FOYER
FLR-02	12"X12" PORCELAIN TILE	DALTILE COLORBODY PORCELAIN	COLLECTION: CLIFF POINT W/ 6"X12" COVE BASE	COLOR: BEACH CP80	ALL RESTROOMS
FLR-03	24"X24" MODULAR CARPET TILE	FATCRAFT	VISUAL ENERGY COLLECTION: SPECTRUM 00491	PATTERN: MONOLITHIC	ALL CARPET AREAS
FLR-04	12"X12" VINYL COMPOSITION TILE	ARMSTRONGS			LOUNGE FLOOR
WALL BASE					
WB-01	5 1/4" x 11/16" WOOD BASE	TR FERRY	5 1/4"X11/16" HOOKED OSEE BASE ITEM# WM-65E	'PAINTED'	ALL AREAS
WB-02	6"X2" PORCELAIN COVE BASE	DALTILE COLORBODY PORCELAIN	COLLECTION: CLIFF POINT COLOR: BEACH CP80		RESTROOM FLOORS
SERVICE DESK FINISHES					
CTOP-01	CAESARSTONE	CAESARSTONE	1 1/4" THICK MODEL# 3003	-	SERVICE DESK COUNTERTOP
MWALL-01	METAL WALL PANEL	MOZ DESIGN PRODUCTS	STAINLESS STEEL, MACHINE ETCHED GRAIN, LINEN	COLOR: CHOCOLATE	FACE OF SERVICE DESK
HR-01	1 1/4" SATIN ALUM. STEEL STANDOFF	MOCKETT INC.	MODEL: MFB101-1-14 WITH 1 1/4" x 1/2" SATIN ALUM. CAP	FINISH: SATIN ALUMINUM	RECEPTIONIST DESK
HR-02	CUSTOM METAL PANELS	ACCURATE PERFORATING	ROUND PATTERN RS 046 WITH 300" RD X 887" CTRS	FINISH: BRUSHED NICKEL	-----
MILLWORK/ CABINETRY LEGEND					
MM-01	DOOR CASING	TR FERRY	5 1/2" x 11/16" BEADED CASING	ITEM# MM-445	ALL DOORS THROUGHOUT CONSTRUCTION AREA
MM-02	CABINETRY	ABET LAMINATI	PLASTIC LAMINAT OVER MDF	LAMINATE: ABET LAMINATI # 1047	DOOR STYLE: FLAT SLAB
MM-03	STAIN COLOR	-----	-----	MATCH FLOOR FINISH SUBMIT SAMPLE TO ARCHITECT	ALL HALF WALLS WITH WOOD CAP WITH REVEAL
COUNTERTOPS					
CTOP-2	COUNTERTOP	-----	-----	-----	CONFERENCE ROOM COUNTER
CTOP-3	COUNTERTOP	-----	-----	-----	SERVICE AREA COUNTER
CTOP-4	COUNTERTOP	-----	-----	-----	CUSTOM COUNTER AND SHELF @ SALES AREA
HARDWARE					
HR-03	4" WIRE CABINET HARDWARE FULL	LIBERTY	MODEL: P804DC-SN-C	FINISH: SATIN NICKEL	AVAILABLE AT HOME DEPOT
HR-04	SWITCH PLATES OUTLET COVERS		MATCH EXISTING	MATCH EXISTING	
CEILING AND LIGHTING LEGEND					
FINISH	VENDORS & DISTRIBUTORS	MODELS/SPECIFICATIONS	REMARKS	GENERAL USE/NOTES	
CEILING FINISHES					
ACT-01	2x2 SUSPENDED CEILING GRID	ARMSTRONGS	24"X24" 560 PAINTED SUSPENSION GRID SYSTEM	ITEM# XL7520 WITH 9/16" PROFILE COLOR: RAL 1044	SERVICE DESK CEILING
ACT-02	2x4 SUSPENDED CEILING TILE AND GRID	ARMSTRONGS	24"X48"X5/4" SUSPENSION SYSTEM W/ 15/16" PRELUDE XL FIRE GUARD	ITEM#955 - CIRRUS MEDIUM TEXTURE 5/16" ANGLED TEGULAR COLOR:WHITE	NEW CEILING AREAS
ACT-03	2x4 REPLACEMENT TILES	ARMSTRONGS	24"X48" SQUARE LAY IN TILE	ITEM# 9568 COLOR: WHITE	REPLACEMENT TILES

FINISH SCHEDULE									
LEVEL	ROOM NO.	ROOM NAME	FLOOR FINISH	WALLS			CEILING		REMARKS
				MAT.	FIN.	BASE	TYPE	HT.	
FIRST FLOOR	100	FOYER	FLR-01				EXISTING	----	
	101	DISPLAY AREA	FLR-01				ACT-01		
	102	SERVICE DESK	FLR-01				ACT-01		
	103	OFFICE	FLR-01				EXISTING		
	104	OFFICE	FLR-03				EXISTING		
	105	UTILITY ROOM	-----				EXISTING		
	106	WOMENS RESTROOM	FLR-02				WB-02	EXISTING	
	107	MENS RESTROOM	FLR-02				WB-02	EXISTING	
	108	EMPLOYEE LOUNGE	FLR-04				WB-01	ACT-03	
	109	OFFICE	FLR-03					ACT-03	
	110	OFFICE	FLR-03					ACT-02	
	111	SALES AREA	FLR-03					ACT-02	
	112	OFFICE	FLR-03					ACT-03	
	113	EXECUTIVE OFFICE	FLR-03					ACT-02	
	114	OFFICE	FLR-03					EXISTING	
	115	CONFERENCE/ CLASSROOM	FLR-03					ACT-02	
	116	SHOWROOM	FLR-03					ACT-02	
	117	OFFICE	FLR-03					ACT-02	
	118	CONFERENCE	FLR-03					ACT-03	
	119	OFFICE	FLR-03					ACT-03	
120	HALLWAY	FLR-03					ACT-03		

TBD = TO BE DECIDED AT A LATER DATE BY ARCHITECT

INTERIOR PAINT FINISH NOTES:

THE PAINT FINISHES THROUGHOUT THE BUILDING ARE AS FOLLOWS:

- ALL PAINTED CEILING - FLAT FINISH
- ALL VERTICAL WALLS - EGGSHELL FINISH
- DOOR JAMBS AND TRIM - SEMI-GLOSS FINISH

FOR ALL NEW INTERIOR PAINT APPLICATIONS, APPLY 1 COAT OF LATEX PRIMER AND 2 COATS OF LATEX PAINT

MILLWORK NOTES:

CONTRACTOR IS REQUIRED TO INSTALL ALL TRIM, BRACING, SUPPORTS, BLOCKING, PANELS, ETC. REQUIRED FOR COMPLETE INSTALLATION OF CABINETS AND COUNTERTOPS

SHOP DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL OF ALL COUNTERTOP AND CABINET INSTALLATIONS THROUGHOUT THE BUILDING PRIOR TO FABRICATION.

ALL CABINET INSTALLATIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AMERICAN WOODWORKING INSTITUTE (AWI) PREMIUM GRADE CASEWORK STANDARDS.

ALL BASE AND WALL CABINETS ARE TO BE FLAT SLAB PLASTIC LAMINATE OVER MDF UNLESS OTHERWISE NOTED ON DRAWINGS. SEE FINISHED SCHEDULE FOR COLOR AND MATERIAL SELECTIONS

ALL SURFACE MOUNTED BLOCKING FOR CABINETS AND SHELVING TO BE FURNITURE GRADE LUMBER

ALL CABINET HINGES TO BE SPRING LOADED SELF CLOSING HINGES

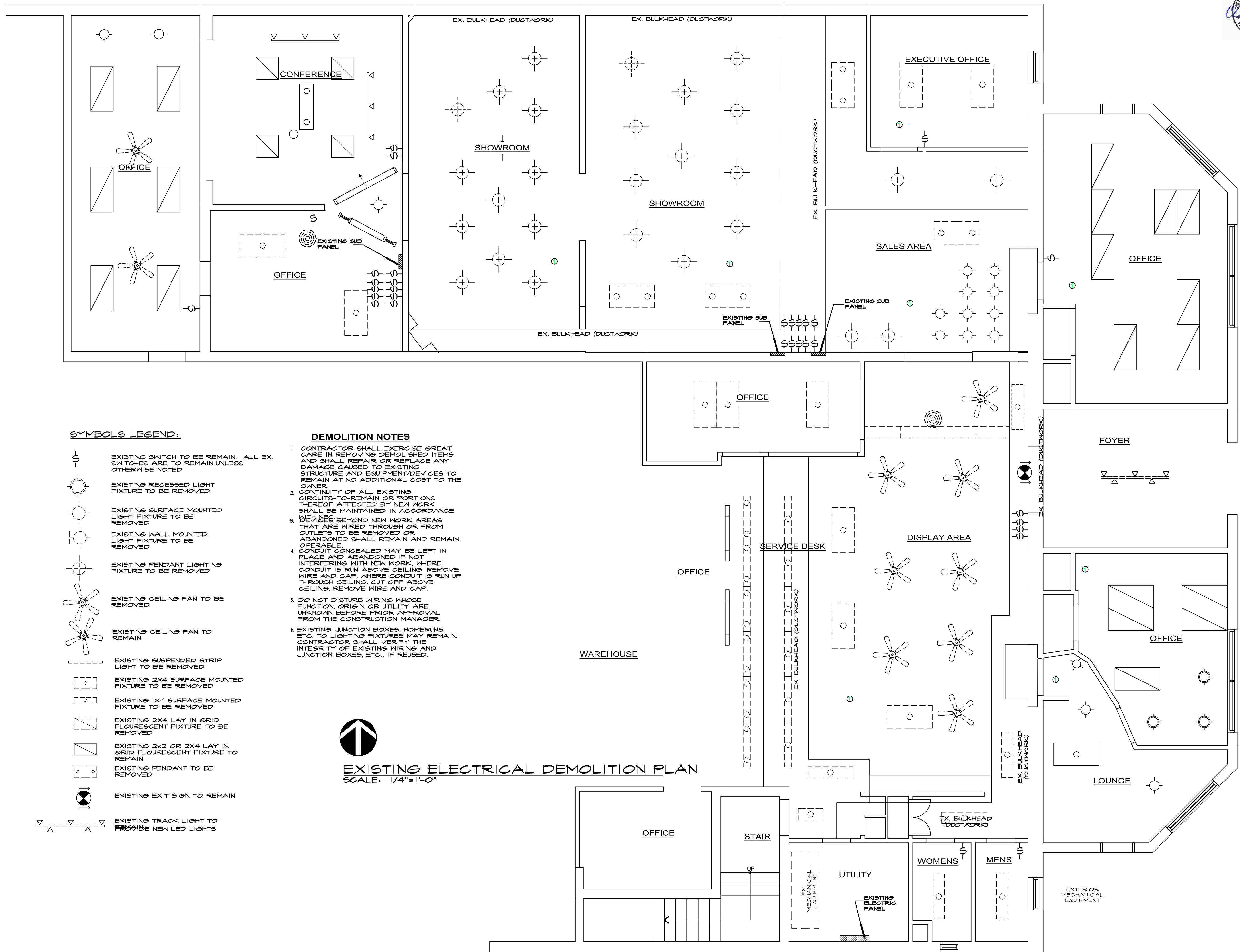
PROVIDE SOUND ABSORBING DOOR PADS ON ALL NEW CABINETRY DOORS AND DRAWERS THROUGHOUT BUILDING

REVISIONS:
PROJECT NO:
DRAWN BY: R. RAY JR.
CHECKED BY: E.J.
DATE: NOVEMBER 4, 2015

SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING
 3726 10TH STREET, NE
 WASHINGTON, DC 20017
 FINISHES LEGEND AND SPECIFICATIONS
 SHEET TITLE:

emi
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SHEET NO:
A-0010

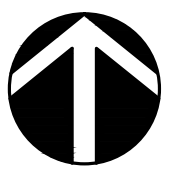


SYMBOLS LEGEND:

- EXISTING SWITCH TO BE REMAIN. ALL EX. SWITCHES ARE TO REMAIN UNLESS OTHERWISE NOTED
- EXISTING RECESSED LIGHT FIXTURE TO BE REMOVED
- EXISTING SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED
- EXISTING WALL MOUNTED LIGHT FIXTURE TO BE REMOVED
- EXISTING PENDANT LIGHTING FIXTURE TO BE REMOVED
- EXISTING CEILING FAN TO BE REMOVED
- EXISTING CEILING FAN TO REMAIN
- EXISTING SUSPENDED STRIP LIGHT TO BE REMOVED
- EXISTING 2x4 SURFACE MOUNTED FIXTURE TO BE REMOVED
- EXISTING 1x4 SURFACE MOUNTED FIXTURE TO BE REMOVED
- EXISTING 2x4 LAY IN GRID FLOURESCENT FIXTURE TO BE REMOVED
- EXISTING 2x2 OR 2x4 LAY IN GRID FLOURESCENT FIXTURE TO REMAIN
- EXISTING PENDANT TO BE REMOVED
- EXISTING EXIT SIGN TO REMAIN
- EXISTING TRACK LIGHT TO REMAIN
- EXISTING TRACK LIGHT TO PROVIDE NEW LED LIGHTS

DEMOLITION NOTES

1. CONTRACTOR SHALL EXERCISE GREAT CARE IN REMOVING DEMOLISHED ITEMS AND SHALL REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURE AND EQUIPMENT/DEVICES TO REMAIN AT NO ADDITIONAL COST TO THE OWNER.
2. CONTINUITY OF ALL EXISTING CIRCUITS-TO-REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK SHALL BE MAINTAINED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. DEVICES BEYOND NEW WORK AREAS THAT ARE WIRED THROUGH OR FROM OUTLETS TO BE REMOVED OR ABANDONED SHALL REMAIN AND REMAIN OPERABLE.
4. CONDUIT CONCEALED MAY BE LEFT IN PLACE AND ABANDONED IF NOT INTERFERING WITH NEW WORK. WHERE CONDUIT IS RUN ABOVE CEILING, REMOVE WIRE AND CAP. WHERE CONDUIT IS RUN UP THROUGH CEILING, CUT OFF ABOVE CEILING, REMOVE WIRE AND CAP.
5. DO NOT DISTURB WIRING WHOSE FUNCTION, ORIGIN OR UTILITY ARE UNKNOWN BEFORE PRIOR APPROVAL FROM THE CONSTRUCTION MANAGER.
6. EXISTING JUNCTION BOXES, HOMERUNS, ETC. TO LIGHTING FIXTURES MAY REMAIN. CONTRACTOR SHALL VERIFY THE INTEGRITY OF EXISTING WIRING AND JUNCTION BOXES, ETC., IF REUSED.



EXISTING ELECTRICAL DEMOLITION PLAN
SCALE: 1/4"=1'-0"

REVISIONS:	
PROJECT NO:	
DRAWN BY:	R. RAY JR.
CHECKED BY:	E.J.
DATE:	NOVEMBER 4, 2015

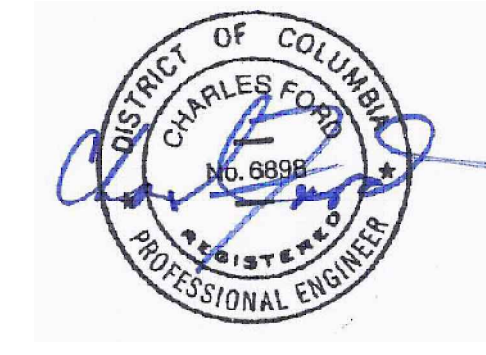
**SHOWROOM AND OFFICE RENOVATIONS
ATLANTIC LIGHTING**
3726 10TH STREET, NE
WASHINGTON, DC 20017

SHEET TITLE:
FIRST FLOOR REFLECTED CEILING PLAN

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E-0001



REVISIONS:

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DRAWN BY:	R. RAY JR.
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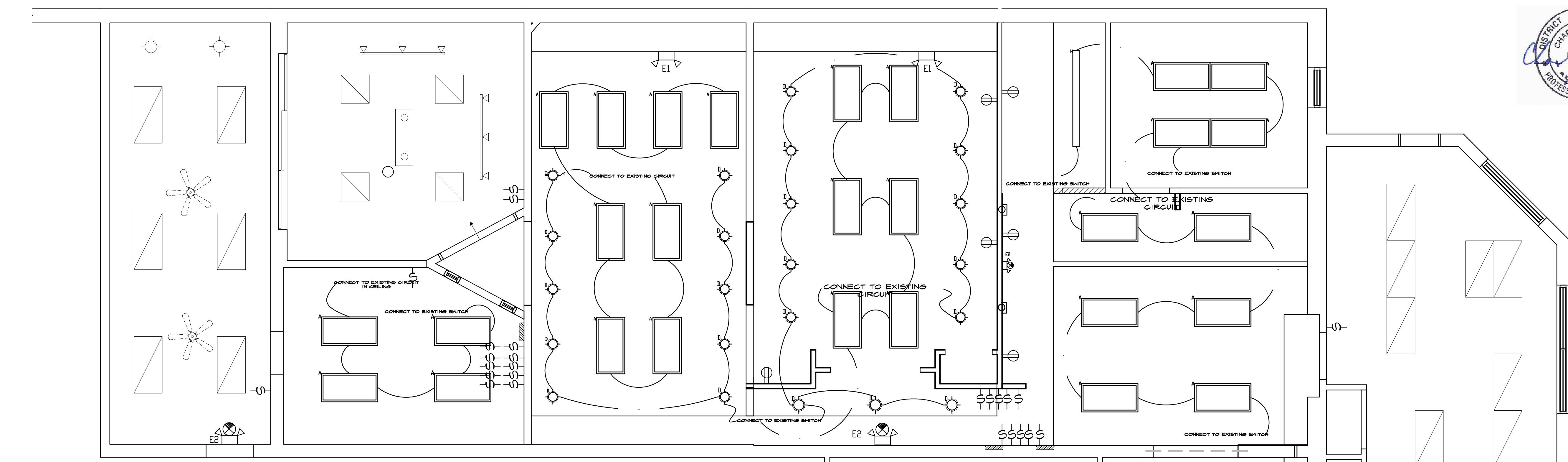
REAR ADDITION
 58 "W" STREET, N.W.
 WASHINGTON, DC 20001

SHEET TITLE:
FIRST FLOOR ELECTRICAL PLAN

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SHEET NO:
E0002



ELECTRICAL NOTES

- SCOPE OF WORK
 - CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING. BIDS SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS. FIELD VERIFY ALL ELECTRICAL EQUIPMENT.
 - FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND TOOLS TO PERFORM ELECTRICAL WORK SHOWN, NOTED OR SCHEDULED FOR A COMPLETE AND FINISHED INSTALLATION.
 - ALL WORK TO BE IN ACCORDANCE WITH NEC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- PERMITS:
 SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTION CERTIFICATES.
- CONDUITS:
 THE TYPE OF CONDUIT SHALL BE AS FOLLOWS FOR ALL FEEDERS AND DISTRIBUTION CIRCUITS, UNLESS OTHERWISE SPECIFIED:

APPLICATION	TYPE OF CONDUIT
BRANCH CIRCUITS (CONCEALED)	MC
- WIRE:
 WIRE SHALL BE SINGLE CONDUCTOR COPPER WITH 600 VOLT INSULATION. #10 AND SMALLER SHALL BE SOLID. #8 AND LARGER SHALL BE STRANDED. MINIMUM WIRE SIZE SHALL BE #12 EXCEPT GENERAL WIRING SHALL BE THIN OR THIN (ALUMINUM CONDUCTORS ARE NOT PERMITTED).
- LIGHTING:
 EXISTING LIGHTING FIXTURES AND LAMPS (UNLESS NOTED OTHERWISE) SHALL BE REMOVED AND REPLACED WITH NEW FIXTURES.
- WARRANTY:
 MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTOR'S EXPENSE.
- FINALLY:
 IT IS THE INTENT THAT THE FOREGOING WORK SHALL BE COMPLETE IN EVERY RESPECT AND THAT ANY MATERIAL OR WORK NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS, BUT NECESSARY TO FULLY COMPLETE THE WORK SHALL BE FURNISHED.

ELECTRICAL LEGEND

§ - SINGLE POLE TOGGLE SWITCH, 40" A.F.F.

§³ - THREE WAY SWITCH, 40" A.F.F.

§⁴ - FOUR-WAY TOGGLE SWITCH, 40" A.F.F.

⊕ - DUPLEX OUTLET

▨ - PANELBOARD

—○— - BRANCH CIRCUIT HOMERUN TO PANELBOARD, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS, FULL SLASHES INDICATE UNGROUNDED "HOT" CONDUCTORS, HALF SLASHES INDICATE GROUNDED NEUTRAL CONDUCTOR(S), DOT INDICATES EQUIPMENT GROUNDING CONDUCTOR.

- - - - BRANCH CIRCUIT WIRING CONCEALED IN WALLS OR CEILINGS. NO SLASHES INDICATE ONE "HOT", ONE NEUTRAL AND EQUIPMENT GROUNDING CONDUCTORS.

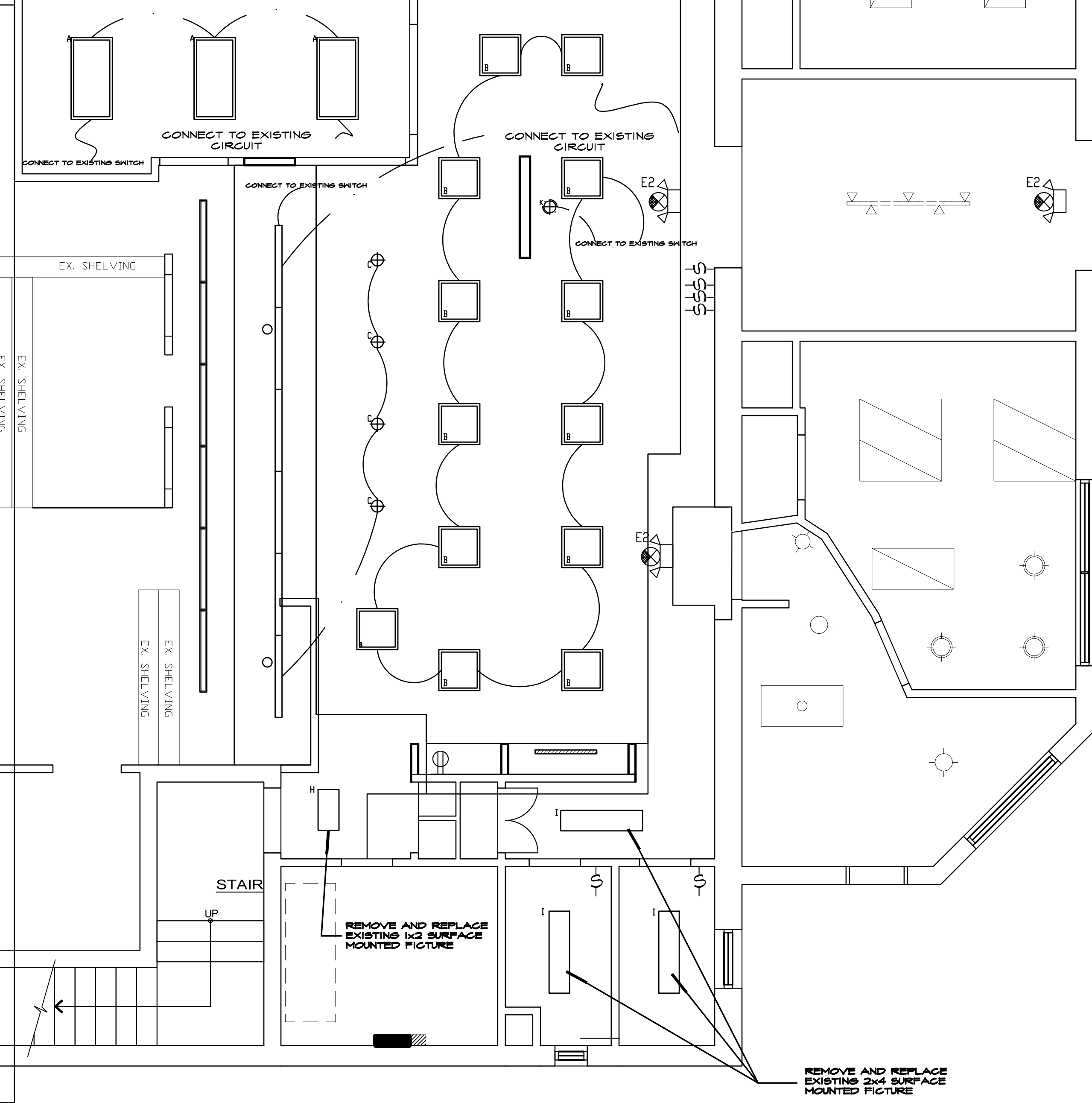
ELECTRICAL CONSTRUCTION NOTES

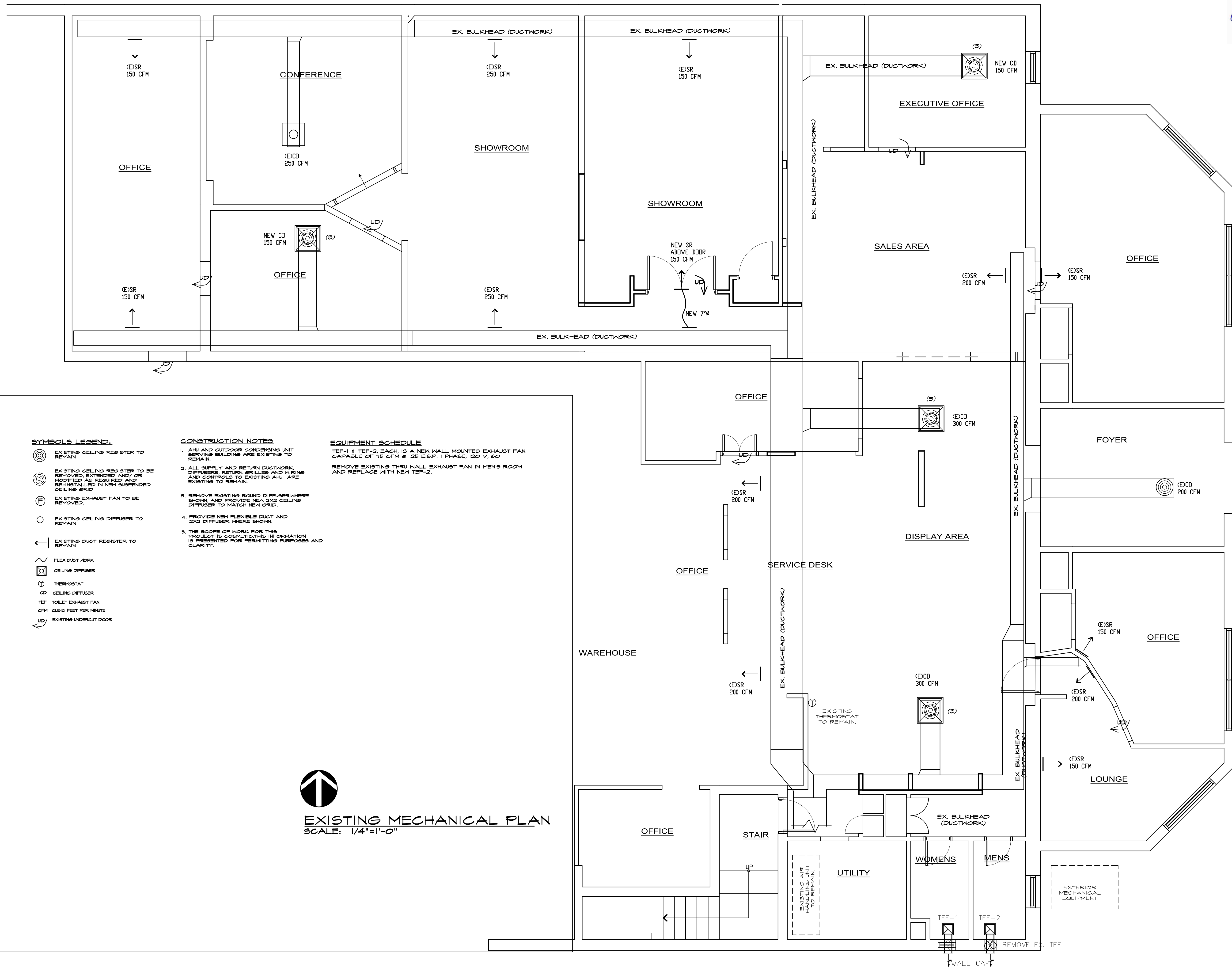
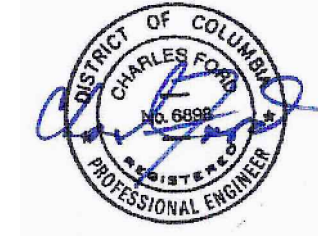
- NEW WIRING SHALL BE #12 (CU) MC CABLE.
- PROVIDE NEW LIGHTING FIXTURES AS SHOWN.
- REUSE EXISTING SWITCHES AND SWITCH WIRING AS MUCH AS POSSIBLE.
- PROVIDE NEW BREAKERS IF REQUIRED.
- NO MORE THAN (3) CIRCUITS ARE ALLOWED IN 3/4 INCH MINIMUM CONDUIT.
- THE SCOPE OF WORK FOR THIS PROJECT IS COSMETIC. ONLY LIGHTING FIXTURES HAVE BEEN REPLACED TO ENHANCE THE AMBIENCE.
- THIS INFORMATION IS PRESENTED FOR PERMITTING PURPOSES AND CLARITY.

LUMINAIRE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP TYPE	VOLTAGE	HEIGHT
1	24W PARABOLIC TRIFLEX	SPECULUS	10-R-0-03-000-0-0-000-0-0	LED	120	RECESSED IN CEILING GRID
2	RECESSED 24W LUMINAIRE, LED	SPECULUS	20-0-00-00-00-00-00-00-00	LED	120	RECESSED IN CEILING GRID
3	ALUMINUM SHINE W/ GLASS	TRAY	TRAY	LED 24W	120	CEILING MOUNTED
4	DOWNLIGHT	PHILIPS	L3-00-R	12V	120	RECESSED IN CEILING GRID
5	EXIT LIGHT W/ BATTERY BACK-UP	LITONIA	LUMIN 5 VR 280/277 024	LED	280/277	CEILING OR WALL MOUNTED
6	BATTERY POWERED EMERGENCY LUMINAIRE	LITONIA	60LX 020 01	INCANDESCENT	280/277	WALL MOUNTED
7	BATTERY POWERED EMERGENCY LUMINAIRE	LITONIA	LUMIN 5 VR 280/277	EMERGENCY LED	280/277	CEILING OR WALL MOUNTED
8	24W RECESSED LED	N/A	N/A	12V	120	SURFACE MOUNT
9	24W RECESSED FLUORESCENT	VEEVA	SH 14002	12V	120	SURFACE MOUNTED
10	24W RECESSED FLUORESCENT	VEEVA	SH 10021	12V	120	SURFACE MOUNTED
11	24W RECESSED FLUORESCENT	VEEVA	SH 10023	12V	120	CEILING MOUNTED
12	POINT LIGHT	TRE	TRE	TRE	120	CEILING MOUNTED

NOTES:
 1. PROVIDE ENERGY SAVING BALLASTS.
 2. LUMINAIRE MAY BE SUBSTITUTED BY APPROVED EQUAL.

PROPOSED LIGHTING PLAN
 SCALE: 1/4"=1'-0"





SYMBOLS LEGEND:

- EXISTING CEILING REGISTER TO REMAIN
- EXISTING CEILING REGISTER TO BE REMOVED, EXTENDED AND/OR MODIFIED AS REQUIRED; AND RE-INSTALLED IN NEW SUSPENDED CEILING GRID
- EXISTING EXHAUST FAN TO BE REMOVED
- EXISTING CEILING DIFFUSER TO REMAIN
- EXISTING DUCT REGISTER TO REMAIN
- FLEX DUCT WORK
- CEILING DIFFUSER
- THERMOSTAT
- CEILING DIFFUSER
- TOILET EXHAUST FAN
- CUBIC FEET PER MINUTE
- EXISTING UNDERCUT DOOR

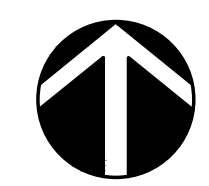
CONSTRUCTION NOTES

1. AHU AND OUTDOOR CONDENSING UNIT SERVING BUILDING ARE EXISTING TO REMAIN.
2. ALL SUPPLY AND RETURN DUCTWORK, DIFFUSERS, RETURN GRILLES AND WIRING AND CONTROLS TO EXISTING AHU ARE EXISTING TO REMAIN.
3. REMOVE EXISTING ROUND DIFFUSER WHERE SHOWN, AND PROVIDE NEW 2X2 CEILING DIFFUSER TO MATCH NEW GRID.
4. PROVIDE NEW FLEXIBLE DUCT AND 2X2 DIFFUSER WHERE SHOWN.
5. THE SCOPE OF WORK FOR THIS PROJECT IS COSMETIC. THIS INFORMATION IS PRESENTED FOR PERMITTING PURPOSES AND CLARITY.

EQUIPMENT SCHEDULE

TEF-1 & TEF-2, EACH, IS A NEW WALL MOUNTED EXHAUST FAN CAPABLE OF 75 CFM @ 28 I.S.P.R. 1 PHASE, 120 V, 60

REMOVE EXISTING THRU WALL EXHAUST FAN IN MENS ROOM AND REPLACE WITH NEW TEF-2.



EXISTING MECHANICAL PLAN
SCALE: 1/4"=1'-0"

REVISIONS:

PROJECT NO:	
DRAWN BY:	R. RAY JR.
CHECKED BY:	E.J.
DATE:	AUGUST 26, 2015

REAR ADDITION
58 "W" STREET, N.W.
WASHINGTON, DC 20001

SHEET TITLE: FIRST FLOOR MECHANICAL PLAN

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SHEET NO:
M0001