

ADDENDUM No. 3

RFP NO.: 616-008

PROJECT TITLE: Physical Education Building
 Exterior Renovations
 Germantown Campus

SUBMISSION DUE DATE AND TIME: **By 3:00 PM on March 1, 2016**

MONTGOMERY COMMUNITY COLLEGE
Procurement Office
900 Hungerford Drive
Room 110
Rockville, Maryland 20850

THIS ADDENDUM IS FOR THE FOLLOWING PURPOSES:

Item 3-1: Changes were made to the Construction Documents in response to architectural life safety and electrical review comments received from the Montgomery County Department of Permitting Services (MCDPS). Revised drawings are being reissued in their entirety in response to these comments and are attached to this addendum. Revisions are clouded, noted as “Permit Response Set” and dated 2/22/2016 in the title block on each sheet accordingly.

Index of Attachments to Addendum No. 3

Specification Sections or portions reissued in entirety:
NONE

Drawings reissued in entirety:

1. G001 – Cover Sheet
2. G002 – SITE PLAN AND GENERAL NOTES
3. C100 – SITE PLAN
4. AD100 – FIRST FLOOR DEMOLITION PLAN
5. AD110 – OVERALL ROOF DEMOLITION PLAN
6. AD201 – DEMOLITION ELEVATIONS
7. AD202 – DEMOLITION ELEVATIONS
8. AD203 – DEMOLITION ELEVATIONS
9. AD204 – DEMOLITION ELEVATIONS
10. AD205 – DEMOLITION ELEVATIONS
11. AD206 – DEMOLITION ELEVATIONS
12. A100 – OVERALL FIRST FLOOR PLAN
13. A101 – PARTIAL FIRST FLOOR PLAN
14. A102 – PARTIAL FIRST FLOOR PLAN
15. A103 – PARTIAL FIRST FLOOR PLAN
16. A110 – OVERALL ROOF PLAN

17. A111 – PARTIAL ROOF PLAN
18. A112 – PARTIAL ROOF PLAN
19. A113 – PARTIAL ROOF PLAN
20. A201 – ELEVATIONS
21. A202 – ELEVATIONS
22. A203 – ELEVATIONS
23. A204 – ELEVATIONS
24. A205 – ELEVATIONS
25. A206 – ELEVATIONS
26. A300 – BUILDING SECTIONS
27. A301 – BUILDING SECTIONS
28. A400 – WALL SECTIONS
29. A401 – WALL SECTIONS
30. A402 – WALL SECTIONS
31. A403 – WALL SECTIONS
32. A404 – WALL SECTIONS
33. A405 – WALL SECTIONS
34. A406 – WALL SECTIONS
35. A407 – WALL SECTIONS
36. A408 – WALL SECTIONS
37. A500 – TYPICAL MASONRY AND FLASHING DETAILS
38. A510 – EIFS DETAILS
39. A520 – SOFFIT DETAILS
40. A530 – LOW-SLOPE ROOFING DETAILS
41. A531 – STEEP-SLOPE ROOFING DETAIL
42. A600 – FENESTRATION ELEVATIONS
43. A610 – FENESTRATION DETAILS
44. A611 – FENESTRATION DETAILS
45. S301 – DETAILS
46. E101 – PARTIAL FIRST FLOOR PLAN – AREA ‘A’ ELECTRICAL DEMOLITION
47. E102 – PARTIAL FIRST FLOOR PLAN – AREA ‘B’ ELECTRICAL DEMOLITION
48. E201 – PARTIAL FIRST FLOOR PLAN – AREA ‘A’ ELECTRICAL NEW WORK
49. E202 – PARTIAL FIRST FLOOR PLAN – AREA ‘B’ ELECTRICAL NEW WORK

Sketches: None

Items issued for informational purposes:

Architectural Life Safety Cover Letter dated 22 February 2016

Electrical Cover Letter dated 22 February 2016

END OF ADDENDUM NO. 3

Please **SIGN** below to acknowledge receipt of the Addendum and include it in the **TECHNICAL PROPOSAL SUBMISSION envelope**. NOTE: ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM WILL NOT BE ACCEPTED BY FACSIMILE OR E-MAIL.

DATE: February 22, 2016

PURCHASING MANAGER: Yu (Judy) Zhu

Applicant's Signature

Company

Title

Date



Patrick L. Johnson, CPPB
Director of Procurement

22 February 2016

SIMPSON GUMPERTZ & HEGER



Engineering of Structures
and Building Enclosures

Department of Permitting Services
Montgomery County
255 Rockville Pike, 2nd Floor
Rockville, MD 20850

Project 150049.01 – Physical Education (PG) Building Exterior Renovations, Architectural/Life Safety Permit Review, Montgomery College (MC), Germantown, MD (Permit #740477)

Dear Ms. Dyer:

This letter is in response to Montgomery County Department of Permitting Services' (MCDPS) temporary suspension of Application for Permit No. 740477, including Architectural/Life Safety review comments prepared by Ms. Stacy Dyer dated 7 January 2016 (we attach a copy of these review comments to this letter for reference).

Our response consists of this letter, which contains written responses to the review comments detailing how each comment has been addressed; and two revised sets of the drawings with changes from the previous drawings clouded.

Our responses to the Architectural/Life Safety comments prepared by Ms. Dyer include the following:

- **Comment #1 (G002):** We revised the Occupancy Group to A-3 (Assembly Group) in Existing Building Information Note 2 per IBC 303.4. See revised Existing Building Information Note 2 on Sheet G002.
- **Comment #2 (G002):** We revised the building height to reflect the number of stories (one story with double-heightened space) and no basement in Existing Building Information Note 4. See revised Existing Building Information Note 4 on Sheet G002.
- **Comment #3 (G002):** We added NFPA 1 (2012), International Fire Code (IFC) 2012, 2010 ADA Standards for Accessible Design, and NFPA 241 to Applicable Building Code Note 1. See revised Applicable Building Code Note 1 on Sheet G002.
- **Comment #4 (AD100):** We added a "General Notes" and "Building/Sequence of Work" section to indicate the renovation will be done in phases based on when the building will be unoccupied, partially occupied, and fully occupied during construction. We added General Note 3 to indicate the automatic sprinkler system and fire alarm system will remain operational during the renovation. See General Notes 1, 2, and 3, and the Building/Sequence of Work on Sheet AD100.
- **Comment #5 (G002):** We added Notes 11, 12, 13, 14, 15, and 16 to Staging, Protection and Site Safety Requirements on Sheet G002 that say the following, respectively:

SIMPSON GUMPERTZ & HEGER INC.

1828 L Street NW, Suite 950, Washington, DC 20036

Phone: 202.239.4199 Fax: 202.239.4198 www.sgh.com

Boston | Chicago | Houston | New York | San Francisco | Southern California | Washington, DC

- Where the building is protected by fire protection systems, such systems shall be maintained operational at all times during alteration as required per NFPA 1, 16.4.4.1.
 - Where alteration requires modification of a portion of the fire protection system, the remainder of the system shall be kept in service and the fire department shall be notified as required per NFPA 1, 16.4.4.2.
 - When it is necessary to shut down the system, the AHJ shall have the authority to require alternate measures of protection until the system is returned to service as required per NFPA 1, 16.4.4.3.
 - The fire department shall be notified when the system is shut down and when the system is returned to service as required per NFPA 1, 16.4.4.4.
 - All required exit components shall be maintained in accordance with this Code as deemed necessary by the AHJ as required per NFPA 1, 16.4.4.5.
 - Fire-resistive assemblies and construction shall be maintained as required per NFPA 1, 16.4.4.6.
- Comment #6 (A600): We eliminated the “Add-Alternates” for replacing the existing main entrance doors (Doors 1 and 2 on the Door Schedule on Sheet A600) along with the surrounding frames. The current scope includes reusing the existing main entrance doors in new frames.
 - Comment #7 (AD100, A101, A102, A103, A600): We added the following notes to the referenced drawings to indicate exterior exit doors will have the panic hardware required per IBC Sections 1010.1.9.3, 1010.1.9.9, and 1010.1.10, as appropriate.
 - Sheet AD100: Added Note 7 to the General Scope of Work This Drawing, saying openings at removed exterior doors serving as exit doors must be maintained for appropriate egress, replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
 - Sheets A101, A102, A103: Added Note 22 to the General Scope of Work This Drawing, saying openings at removed exterior doors serving as exit doors must be maintained for appropriate egress, replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
 - Sheet A600: Added a column labeled “Emergency Exit” to the Door Schedule indicating which doors also serve as emergency exits. The Door Schedule column labeled “Hardware Set” indicates the proposed hardware set included in the Door Hardware Specification (Section 08 7100) for each door, including the exit doors.
 - Comment #8 (AD100): We added General Note 1 on Sheet AD100 regarding exterior lighting at exit doors indicating the following:
 - “Floors and other walking surfaces within an exit and within the portions of the exit access and exit discharge, designated in IBC Section 7.8.1.1 shall be illuminated as follows:

- During conditions of stair use, the minimum illumination for new stairs shall be at least 10 ft-candle (108 lux), measured at the walking surfaces.
 - The minimum illumination for floors and walking surfaces, other than new stairs during conditions of stair use, shall be to values of at least 1 ft-candle (10.8 lux), measured at the floor.
 - In assembly occupancies, the illumination of the walking surfaces of exit access shall be at least 0.2 ft-candle (2.2 lux) during periods of performances or projections involving directed light.
 - The minimum illumination requirements shall not apply where operations or processes require low lighting levels per NFPA 101, 7.8.1.3.
- Comment #9 (A102, A103, A201, A202, A204, A206): We added a table on Sheet G002 that indicates the proposed R-values or equivalent U-values for the new enclosure systems, including the exterior walls, curtain walls, doors, and roofs, showing these components comply with the prescriptive requirements included in Table C402.4 of the 2015 IECC code. We note the new systems will have the following R-values or equivalent U-values:

| Building Envelope Assembly | Required R-Value/U-Value | Proposed R-value/U-Value |
|--|--------------------------|--------------------------|
| Steep-Slope Roofs | R – 38 | R – 39 |
| Low-Slope Roofs | R – 30ci | R – 30ci |
| Mass Walls (CMU with EIFS) | R – 9.5ci | R – 15ci |
| Mass Walls (CMU with Brick) | R – 9.5ci | R – 16ci |
| Metal Framed Walls | U – 0.064 | U – 0.062 |
| Hollow Metal Doors | U – 0.061 | U – 0.10 |
| Fixed Fenestration (Curtain Wall) | U – 0.38 | U – 0.33 |
| Operable Fenestration (Curtain Wall Vents) | U – 0.45 | U – 0.44 |
| Entrance Doors | U – 0.77 | U – 0.66 |

We expect that the responses above, in combination with the updated drawings, satisfactorily address the comments provided by you. However, please let us know if we can provide further clarification to any of these comments.

Sincerely yours,



David S. Slick, P.E.
 Associate Principal
 MD License No. 15484

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Professional Certification.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 15484 Exp Date: 8/2/17

Encls.

- cc: Mr. Kermit Leibensperger (MCDPS)
 Mr. Eric Koh (MC)
 Mr. Kevin Redinger (MC)
 Mr. Ali Fadl (MC)



22 February 2016

Department of Permitting Services
Montgomery County
255 Rockville Pike, 2nd Floor
Rockville, MD 20850

Project 150049 – Physical Education (PG) Building Exterior Renovations, Electrical Permit Review, Montgomery College (MC), Germantown, MD (Permit #740477)

Dear Mr. Leibensperger:

This letter is in response to Montgomery County Department of Permitting Services' (MCDPS) temporary suspension of Application for Permit No. 740477, including Electrical review comments prepared by you dated 21 January 2016 (we attached copies of these review comments to this letter for reference).

Simpson Gumpertz & Heger Inc. (SGH) retained an MEP consultant (Burdette, Koehler, Murphy & Associates – BMKA) to assist us with developing the necessary electrical drawings based on the scope of work shown on our Permit Set drawings dated 20 November 2015 and respond to MCDPS's Electrical permit review comments.

The design team's response consists of this letter and two revised sets of the drawings with changes from the previous drawings clouded.

During a telephone conversation between you and Mr. Phillip Frederick of SGH on 28 January 2016, the scope of this project and your electrical review comments were discussed at length. At the conclusion of the conversation it was agreed that your comments could be satisfied by developing electrical floor plans that clarify the electrical work involved with this project. See attached signed and sealed electrical drawings as requested.

The electrical drawings show the work needed to remove all electrical devices from the exterior walls of the building, extend conduit and wiring (of same type and quantity), and reinstall the conduit and wiring on the inside surface of the exterior wall with the existing devices being reinstalled on the exterior wall in the same location. This work is merely an in-kind removal and re-installation of devices. The only new work included in this project is the addition of a 120V, 20A branch circuit for a power operated door which is shown on Drawing E202.

We expect that the responses above, in combination with the updated drawings, satisfactorily address the comments provided by you. However, please let us know if we can provide further clarification to any of these comments.

Sincerely yours,



Richard A. Miller, P.E.
Principal
Burdette, Koehler, Murphy & Associates, Inc.
MD License No. 20513
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David S. Slick, P.E.
Associate Principal
Simpson Gumpertz & Heger Inc.

Encls.

cc: Ms. Stacy Dyer (MCDPS)
Mr. Eric Koh (MC)
Mr. Kevin Redinger (MC)
Mr. Ali Fadl (MC)

PHYSICAL EDUCATION BUILDING EXTERIOR RENOVATIONS

MONTGOMERY COLLEGE, GERMANTOWN CAMPUS

GERMANTOWN, MD



PREPARED FOR:

MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

PREPARED BY:

SIMPSON GUMPERTZ & HEGER INC.
1828 L STREET NW, SUITE 950
WASHINGTON, DC 20036

| LIST OF DRAWINGS | | | |
|------------------|-----------------------------|-------|---|
| | | A402 | WALL SECTIONS |
| | | A403 | WALL SECTIONS |
| G001 | COVER SHEET | A404 | WALL SECTIONS |
| G002 | SITE PLAN AND GENERAL NOTES | A405 | WALL SECTIONS |
| C100 | SITE PLAN | A406 | WALL SECTIONS |
| AD100 | FIRST FLOOR DEMOLITION PLAN | A407 | WALL SECTIONS |
| AD110 | ROOF DEMOLITION PLAN | A408 | WALL SECTIONS |
| AD201 | DEMOLITION ELEVATIONS | A500 | TYPICAL MASONRY AND FLASHING DETAILS |
| AD202 | DEMOLITION ELEVATIONS | A510 | EIFS DETAILS |
| AD203 | DEMOLITION ELEVATIONS | A520 | SOFFIT DETAILS |
| AD204 | DEMOLITION ELEVATIONS | A530 | LOW-SLOPE ROOFING DETAILS |
| AD205 | DEMOLITION ELEVATIONS | A531 | STEEP-SLOPE ROOFING DETAILS |
| AD206 | DEMOLITION ELEVATIONS | A600 | FENESTRATION ELEVATIONS |
| A100 | OVERALL FIRST FLOOR PLAN | A610 | FENESTRATION DETAILS |
| A101 | PARTIAL FIRST FLOOR PLAN | A611 | FENESTRATION DETAILS |
| A102 | PARTIAL FIRST FLOOR PLAN | S001 | GENERAL NOTES |
| A103 | PARTIAL FIRST FLOOR PLAN | S110 | LOW ROOF FRAMING PLAN |
| A110 | OVERALL ROOF PLAN | S111 | UPPER ROOF FRAMING PLAN |
| A111 | PARTIAL ROOF PLAN | S300 | DETAILS |
| A112 | PARTIAL ROOF PLAN | S301 | DETAILS 2 |
| A113 | PARTIAL ROOF PLAN | EY001 | SECURITY REFERENCE SHEET |
| A201 | ELEVATIONS | EY100 | OVERALL FIRST FLOOR PLAN |
| A202 | ELEVATIONS | EY101 | SECURITY PARTIAL FIRST FLOOR |
| A203 | ELEVATIONS | EY102 | SECURITY PARTIAL FIRST FLOOR |
| A204 | ELEVATIONS | EY103 | SECURITY PARTIAL FIRST FLOOR |
| A205 | ELEVATIONS | EY501 | SECURITY DETAILS |
| A206 | ELEVATIONS | E001 | ELECTRICAL GENERAL NOTES |
| A300 | BUILDING SECTIONS | E101 | ELECTRICAL DEMOLITION |
| A301 | BUILDING SECTIONS | E102 | ELECTRICAL DEMOLITION 2 |
| A400 | WALL SECTIONS | E201 | ELECTRICAL NEW WORK |
| A401 | WALL SECTIONS | E202 | ELECTRICAL NEW WORK |

ENGINEER IN RESPONSIBLE CHARGE:
DAVID S. SLICK (MD PE NO. 15484)

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and Building Enclosures

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Washington, DC

Door Hardware
Consultant **Erschloe Consulting Services, Inc.**
7820 Carters Run Drive
Marshall, VA 20115
540.351.0553

Security
Consultant **GHD, Inc.**
14585 Avion Parkway, Suite 150
Chantilly, VA 20151
571.325.5000

Cost Estimating
Consultant **Forella Group, LLC.**
9495 Silver King Ct., Suite A
Fairfax, VA 22031
703.560.2200

Electrical
Consultant **bkm, Inc.**
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

PERMIT RESPONSE SET

PROFESSIONAL CERTIFICATION. I HEREBY
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 15484
EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| | 02/22/16 | Permit Response Set | |
| | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

COVER SHEET

Drawing Title

| | | |
|--------------------------|-----------------|------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale NTS |
| Drawing No. | | |
| G001 | | |
| Seal | | |

General Notes:

- Applicable Building Codes:
 - International Building Code (IBC) 2015
 - International Existing Building Code (IEBC) 2012
 - International Energy Conservation Code (IECC) 2015
 - National Fire Protection Association (NFPA) 1, 2012
 - International Fire Code (IFC) 2012
 - 2010 ADA Standards for Accessible Design
 - National Fire Protection Association (NFPA) 241
- Roof design wind uplift pressures (ASCE 7-10): refer to Structural Drawings.
- Wall design wind pressures (ASCE 7-10): refer to Structural Drawings.
- Classification of Work: Alteration - Level 2.
- EIFS Special Inspections: Per Section 1705.17 of the 2015 IBC, special inspections shall be required for exterior insulation and finish systems. Exception states that EIFS assemblies applied over a water-resistive barrier with a means of drainage shall not require special inspection.
- Energy Compliance Path (Exterior Envelope): IECC 2015 prescriptive compliance path.
- The exterior work shown on these plans addresses repair and or replacement of the exterior wall cladding, windows and doors, low-slope and steep-slope roofing, and built-in metal gutter assemblies around the PG Building. For additional information, see the Drawings.
- Coordinate this work with the affected mechanical, plumbing, and electrical systems on the exterior walls and roofs around the PG Building, generally referenced on the Drawings.
- The work does not include removal of the existing low-slope roofing over the Gymnasium or Central Lobby spaces except as noted around the roof or rising wall perimeters.
- Field Verification: Scales and dimensions, where shown, are based on the original construction drawings and limited measurements taken during our field investigation. Verify all site conditions, configurations, materials, and dimensions by field measurements before material fabrication or delivery, and indicate measurements needed for the work on Shop Drawings. Do not scale these Drawings. Notify the Engineer immediately of any inconsistency between the conditions found in the field and those shown in the Drawings. Coordinate fabrication schedule with the construction progress to avoid delaying the work. Consider the special conditions associated with repairs to existing construction when measuring.

Existing Building Information:

- All information below relates to the existing building and shall remain unaltered:
- Construction Type: III, B
 - Occupancy Group: A-3
 - Building Area: 35,400 sq.ft. (0 sq.ft. of interior space renovated)
 - Building Height: One story with double height spaces (30.25 ft.), no basement
 - High Rise: No
 - Covered Mall: No
 - IBC 510 Pedestal Construction: No
 - Fully Sprinklered: Yes
 - Fire Alarm: Yes
 - Occupant Load: Unaltered
 - Exterior Wall System: CMU bearing walls
 - Interior Partition Walls: CMU
 - Natorium "High" Roof Framing: Glulam beams with supplemental steel truss supports
 - Gymnasium "High" Roof Framing: Glulam beams
 - Steep-Sloped Roof Framing: Cold-formed metal framing
 - Central Roof Framing: Steel bar joists
 - Lateral load resisting system: CMU walls

Staging, Protection, and Site Safety Requirements:

- The contractor is solely responsible for exterior building access, site safety, and construction means and methods.
- Provide access to the exterior building walls and roofs to perform the required work. Interior access is only permitted for interior work.
- Coordinate required staging area and access with the Owner.
- Provide temporary protection at all times to protect all moisture sensitive building components and where work is being performed overhead of exterior doors and walkways. Keep water out of the building at all times. Coordinate all temporary protection measures with the Owner.

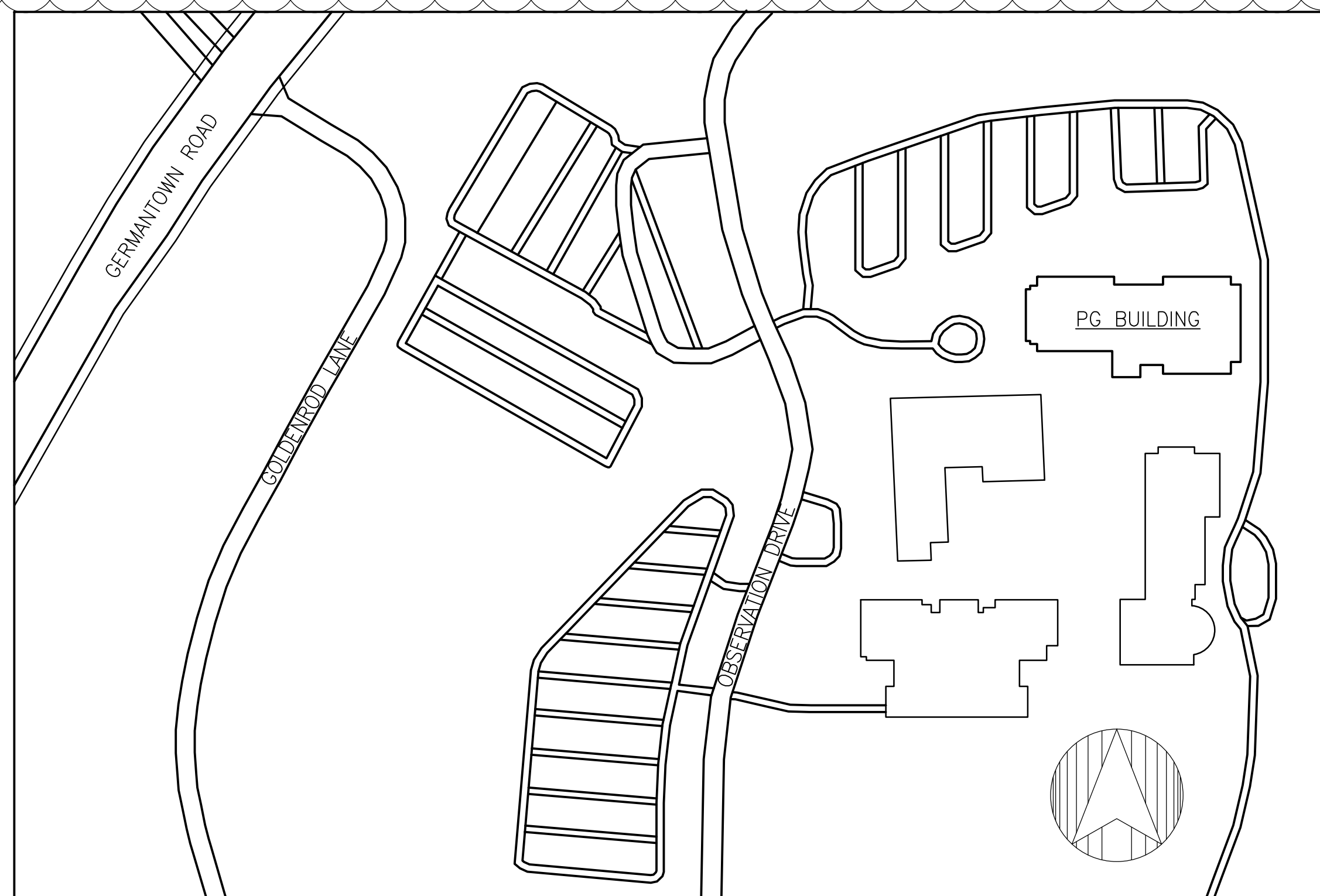
- Maintain safe pedestrian access to publicly trafficked walk areas at all times. Maintain all emergency egress routes, meeting all applicable building codes and regulatory requirements.
- Protect all landscaping from construction activity, including, but not limited to, shrubbery, grass, patios, paving, and walkways. Repair all damage to landscaping at no cost to the Owner.
- Protect all exterior building components newly installed or scheduled to remain, including, but not limited to, windows, masonry, glazing, EIFS, and roofing from construction activity. Repair all damage to building components at no cost to the Owner. Where roof top construction activity and construction traffic is required, provide temporary protection, consisting of 1-1/2 in. thick extruded polystyrene insulation covered with plywood over completed roof areas and existing-to-remain roof areas. Ballast temporary protection to prevent wind uplift.
- Protect scaffolding and the building against unauthorized access (day and night).
- Provide appropriate covered dumpsters for temporary debris storage during construction activity. Coordinate placement and removal of the dumpsters with the Owner.
- Overhead protection.
- Where the building is protected by fire protection systems, such systems shall be maintained operational at all times during alteration as required per NFPA 1, 16.4.4.1.
- Where alteration requires modification of a portion of the fire protection system, the remainder of the system shall be kept in service and the fire department shall be notified as required per NFPA 1, 16.4.4.2.
- When it is necessary to shut down the system, the Authority Having Jurisdiction shall have the authority to require alternative measures of protection until the system is returned to service as required per NFPA 1, 16.4.4.3.
- The fire department shall be notified when the system is shut down and when the system is returned to service as required per NFPA 1, 16.4.4.4.
- All required exit components shall be maintained in accordance with the building code as deemed necessary by the Authority Having Jurisdiction as required per NFPA 1, 16.4.4.5.
- Fire-resistive assemblies and construction shall be maintained as required per NFPA 1, 16.4.4.6.

Proposed Schedule:

- Natorium Walls - July 2016
- Natorium Roof (Low-Slope) - August 2016
- Natorium Roof (Steep-Slope) - July 2016
- Windows - August 2016
- Classroom Walls Around Windows - August 2016
- Office Walls Around Windows - August 2016
- Gymnasium Walls - October/November 2016
- Gymnasium Roofs - December 2016
- Substantial Completion - August 2017

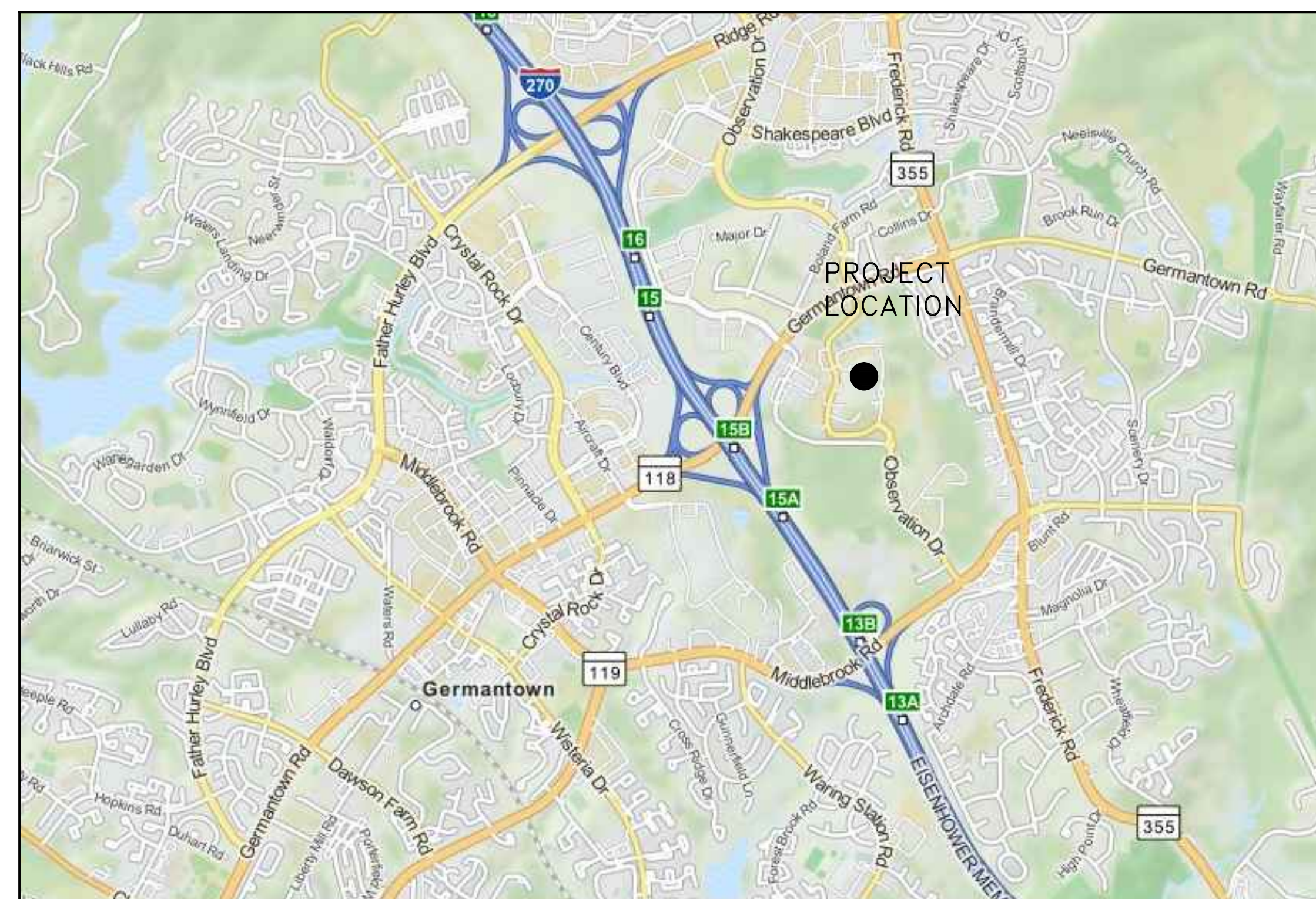
IECC 2015 CHAPTER 402 ENVELOPE REQUIREMENTS

| OPAQUE THERMAL ENVELOPE INSULATION COMPONENTS, R-VALUE METHOD; TABLE C402.3 | | | FENESTRATION SYSTEMS; TABLE C402.4 & C402.1.4 | | |
|---|---------------------------------------|---------------------------------|---|-----------------------|------------------|
| COMPONENT | REQUIRED MIN. R-VALUE | PROVIDED R-VALUE | FENESTRATION SYSTEM | REQUIRED MAX. U-VALUE | PROVIDED U-VALUE |
| STEEP-SLOPED ROOFS | R-38 | R-39 | HOLLOW METAL DOORS (SWINGING) | 0.61 | 0.10 |
| LOW-SLOPED ROOFS | R-30ci | R-30ci | FIXED FENESTRATION | 0.38 | 0.33 |
| MASS WALLS AT CMU BACKUP (BRICK & EIFS CLADDING) | R-9.5ci | R-15ci (BRICK) R-16ci (EIFS) | OPERABLE FENESTRATION | 0.45 | 0.44 |
| WALLS AT METAL STUD BACKUP (EIFS CLADDING) | R-13 + R-7.5ci (U-FACTOR OF 0.064) | R-16 (U-FACTOR OF 0.062) | ENTRANCE DOORS | 0.77 | 0.66 |



1 SITE PLAN

N.T.S.



2 AREA MAP

N.T.S.

SIMPSON GUMPERTZ & HEGER

Engineering of Structures and Building Enclosures

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Chicago
Los Angeles
New York
San Francisco
Washington, DC

- Door Hardware Consultant: **Ebschloe Consulting Services, Inc.**
7820 Carters Run Drive
Marshall, VA 20115
540.351.0553
- Security Consultant: **GHD, Inc.**
14585 Avion Parkway, Suite 150
Chantilly, VA 20151
571.325.5000
- Cost Estimating Consultant: **Forella Group, LLC.**
9495 Silver King Ct., Suite A
Fairfax, VA 22031
703.560.2200
- Electrical Consultant: **bkm, Inc.**
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15484 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| 2 | 02/22/16 | Permit Response Set | |
| 1 | 01/22/16 | Bid Set | |
| 1 | 11/20/15 | Pricing/Permit Set | |
| 1 | 08/28/15 | 100% Design Development | |

PHYSICAL EDUCATION BLDG EXTERIOR RENOVATION MONTGOMERY COLLEGE GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

Project

SITE PLAN AND GENERAL NOTES

Drawing Title

| | | |
|-----------------------|--------------|---------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale NTS |

Drawing No.

G002

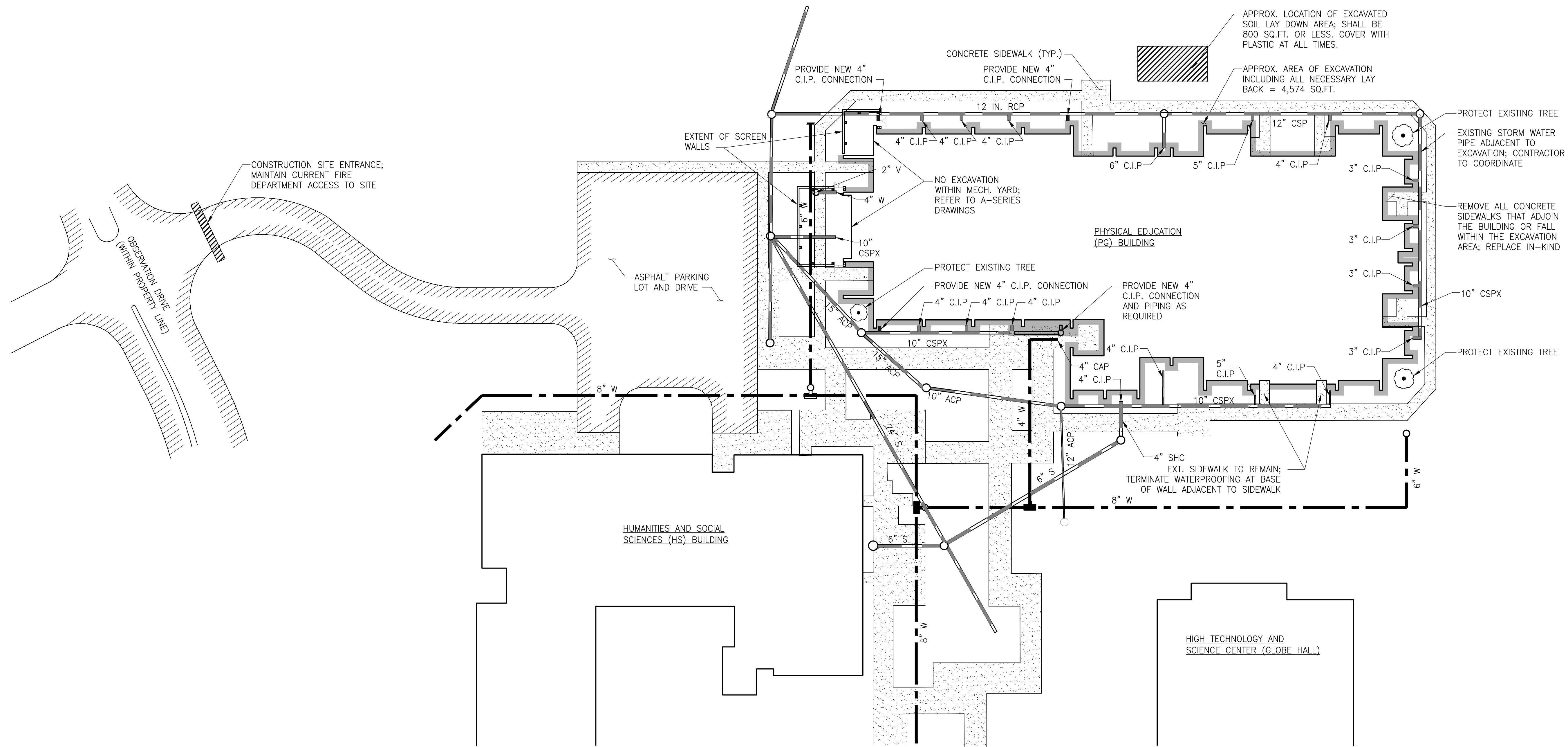
Seal

PERMIT RESPONSE SET

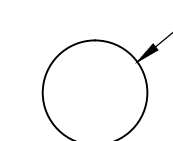
GENERAL NOTES:

- A. Project site shown is within the property line of the College property; boundary extends along Germantown Rd. on the north side and Frederick Rd. on the east side; refer to G002.
- B. All utility lines and below-grade piping are shown schematically based on existing drawings, dated 23 Nov. 1977. Contractor shall verify the location of all buried elements prior to excavation, including all measures mandated by the local jurisdiction, and take all precautions necessary to protect existing-to-remain elements from the Work.
- C. Unless noted otherwise, all utilities shown are existing to remain and shown for coordination purposes only.
- D. Notify the Engineer if the existing downleader connection to the stormwater management system cannot be reused or is not serviceable.
- E. The extent of excavation shown includes the extent of all lay-back and benching necessary to perform work.

- F. Remove and replace in-kind all sidewalks that extend within the excavation area.
- G. Area of site disturbance, including lay down areas for soil and construction activities: 5,374 sq.ft.
- H. Quantity of earth movement and excavation: 425 cy.
- I. Area of new impervious landscaping: 0 sq.ft.
- J. Implement all sediment control measures as determined by Montgomery County.
- K. Protect all existing yard inlets.
- L. Remove and dispose of all existing vegetation and wood edging within excavation area, unless noted otherwise.
- M. Replant and restore all turf grass damaged or disturbed as a result of construction activities.
- N. Provide aluminum edging around footprint of building located 24 in. from face of new cladding. Provide new river stone landscaping and filter fabric to match existing and extend from face of building to new edging.



PROTECT SCULPTURE



APPROX. LOCATION OF EXCAVATED SOIL LAY DOWN AREA; SHALL BE 800 SQ.FT. OR LESS. COVER WITH PLASTIC AT ALL TIMES.

APPROX. AREA OF EXCAVATION INCLUDING ALL NECESSARY LAY BACK = 4,574 SQ.FT.

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703.560.2200

Electrical Consultant
bkm, Inc.
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

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PHYSICAL EDUCATION BLDG EXTERIOR RENOVATION MONTGOMERY COLLEGE GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

Project

SITE PLAN

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Drawing No. | | C100 |

1 SITE PLAN
1/32" = 1'-0"

LEGEND

| | |
|--------|---|
| C.I.P. | CAST IRON PIPE |
| CSPX | CONCRETE SEWER PIPE, EXTRA STRENGTH |
| ACP | ALUMINUM CORRUGATED PIPE |
| R.C.P. | REINFORCED CONCRETE PIPE |
| W | WATER LINE |
| V | VALVE |
| SD | STORM DRAIN |
| SD | STORM DRAIN PIPE |
| --- | WATER LINE |
| --- | EXTENT OF EXCAVATION; 3'-0" BEYOND PERIMETER OF BUILDING |

PERMIT RESPONSE SET

GENERAL SCOPE OF WORK THIS DRAWING

- Exterior Walls:
- Excavate the existing soil or gravel surfacing around the building perimeter to expose the existing wall footings.
 - Existing stucco cladding over CMU backup walls to remain. Remove and dispose any loose or damaged existing stucco cladding; patch and repair damaged or removed stucco as required.
 - Remove and dispose of exposed exterior downleaders. Remove and dispose of the existing stucco cladding and CMU wing walls where shown on the drawings to remove and replace the existing downleaders set into the CMU wing walls.
 - Remove and dispose of the existing EIFS cladding, rigid insulation, sheathing, flashings, metal copings and accessories, and miscellaneous metal furrings supporting the EIFS cladding assemblies at the upper and lower soffits, exterior beams, Weight Room addition, and other wall areas around the building.
 - Remove and dispose of the existing exterior windows and entrance door assemblies, clerestory windows, and exterior hollow-metal doors, including all perimeter frames and anchorage, unless noted otherwise.
 - Remove and dispose of the existing door hardware and security systems at interior doors where shown in A600 and EY Series.
 - Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
 - Remove and dispose of the existing wood trellises. Existing trellis anchorage to remain.
 - Protect in place the existing exterior metal columns on the south elevation of the Weight Room.
 - Remove and store, or protect in place, all exterior light fixtures, security cameras, fans, louvers and vents, fire alarm and fire department connection, access hatches, and other miscellaneous components on the exterior wall unless otherwise described in the Drawings.
 - Remove the existing exterior conduits over the cladding assembly and relocate within the building interior; extend through exterior wall and provide new cladding where required to service exterior components to remain.

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**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

**FIRST FLOOR
DEMOLITION PLAN**

Drawing Title

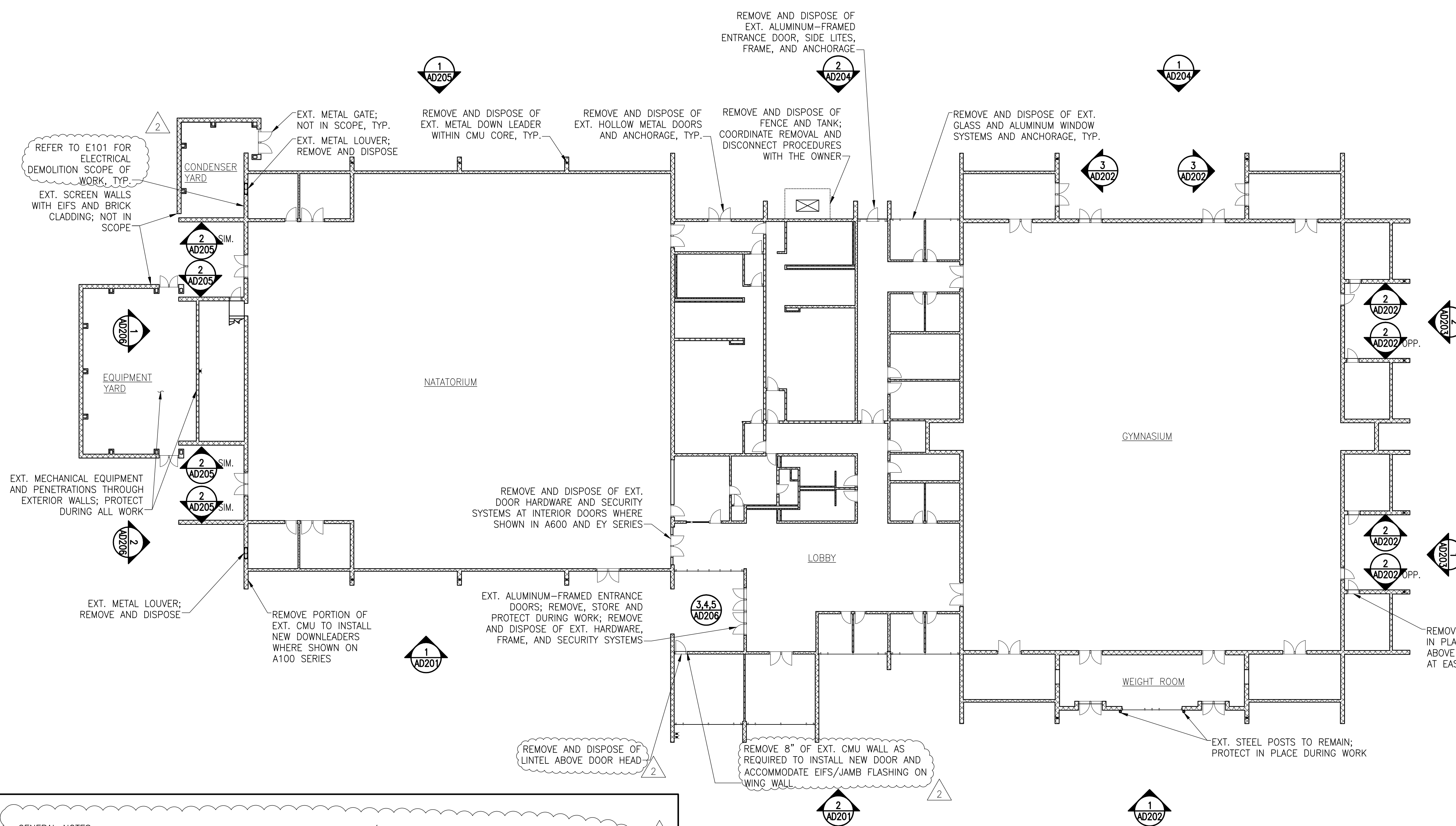
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|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS SHOWN |

Drawing No.

AD100

Seal

PERMIT RESPONSE SET



GENERAL NOTES:

- Building will be fully occupied from 28 August 2016 to 1 May 2017, during the work. The building will be unoccupied from 15 May 2016 to 28 August 2016, during the work.
- The renovation work will be completed in phases based on the building occupancy and college's schedule.
- Automatic sprinkler and fire alarm system will remain operational during entire duration of project.
- Floors and other walking surfaces within an exit and within the portions of the exit access and exit discharge, designated in IBC Section 7.8.1.1, shall be illuminated as follows:
 - During conditions of stair use, minimum illumination for new stairs shall be at least 10 foot-candles at the walking surface.
 - Minimum illumination for walking surfaces, other than new stairs, shall be at least 1 foot-candles at the walking surface.
 - In assembly occupancies, the illumination of walking surfaces at exit access shall be at least 0.2 foot-candles during performances or projections with directed lights.
 - Minimum illumination requirements shall not apply where operations or processes require low-lighting levels per NFPA 101, 7.8.1.3.

BUILDING/SEQUENCE OF WORK:

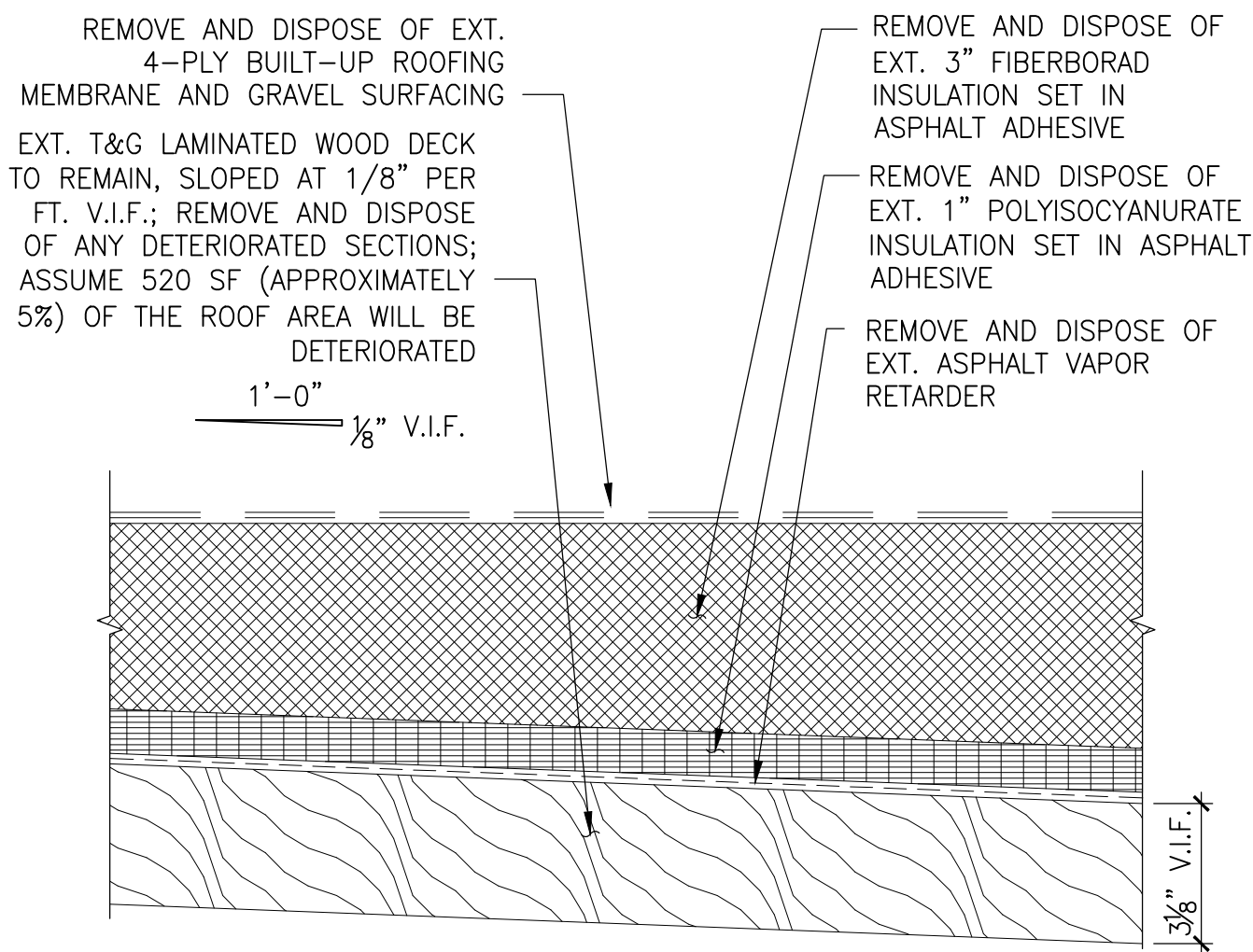
- Enclosure work shall progress from the Natatorium to the Classrooms to the Gymnasium
- Begin construction - 15 May 2016
- In-situ mockup completion - 1 July 2016
- Substantially complete work at Steep-sloped roofs - 28 August 2016
- Substantially complete work at curtain walls - 28 August 2016
- Substantial completion of work - 1 May 2017
- Punch-list and close-out completion - 1 August 2017

1 FIRST FLOOR DEMOLITION PLAN
NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
1/16" = 1'-0"

LEGEND

| | |
|--|--|
| | - DOOR SWING DIRECTION; REMOVE AND DISPOSE OF EXT. EXTERIOR DOORS ONLY; UNLESS NOTED OTHERWISE |
| | - REMOVE AND DISPOSE OF EXT. ALUMINUM-FRAMED WINDOWS |
| | - METAL LOUVER |
| | - EXT. CMU WALLS TO REMAIN; PATCH AND REPAIR AS NECESSARY |
| | - REMOVE AND DISPOSE OF EXT. DOWN LEADER |

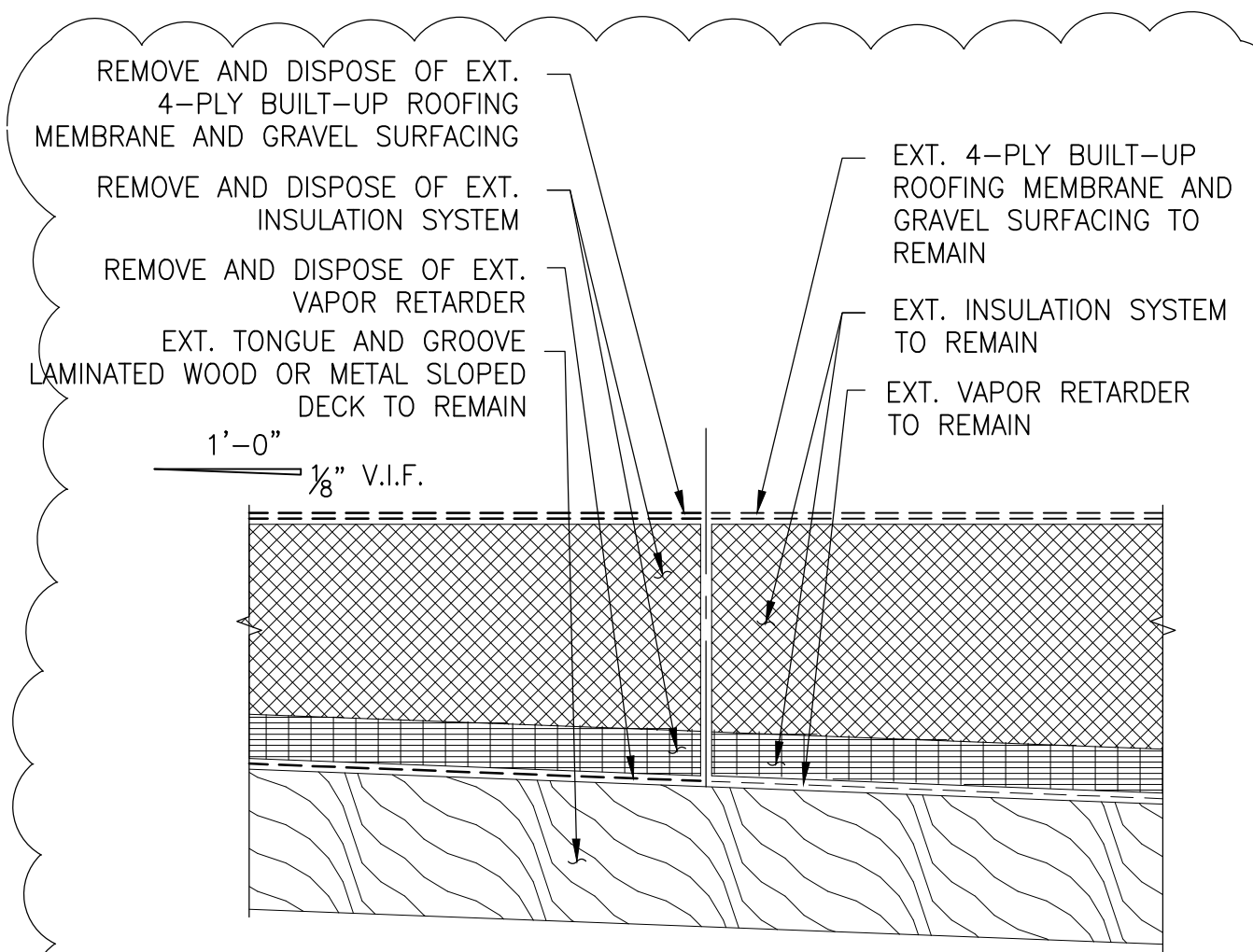
NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.



NOTE: REMOVE AND DISPOSE OF TAPERED FIBERBOARD INSULATION AT CRICKETS; 6" MAX. TAPERED INSULATION HEIGHT

1 REMOVALS - TYPICAL NATATORIUM ROOFING

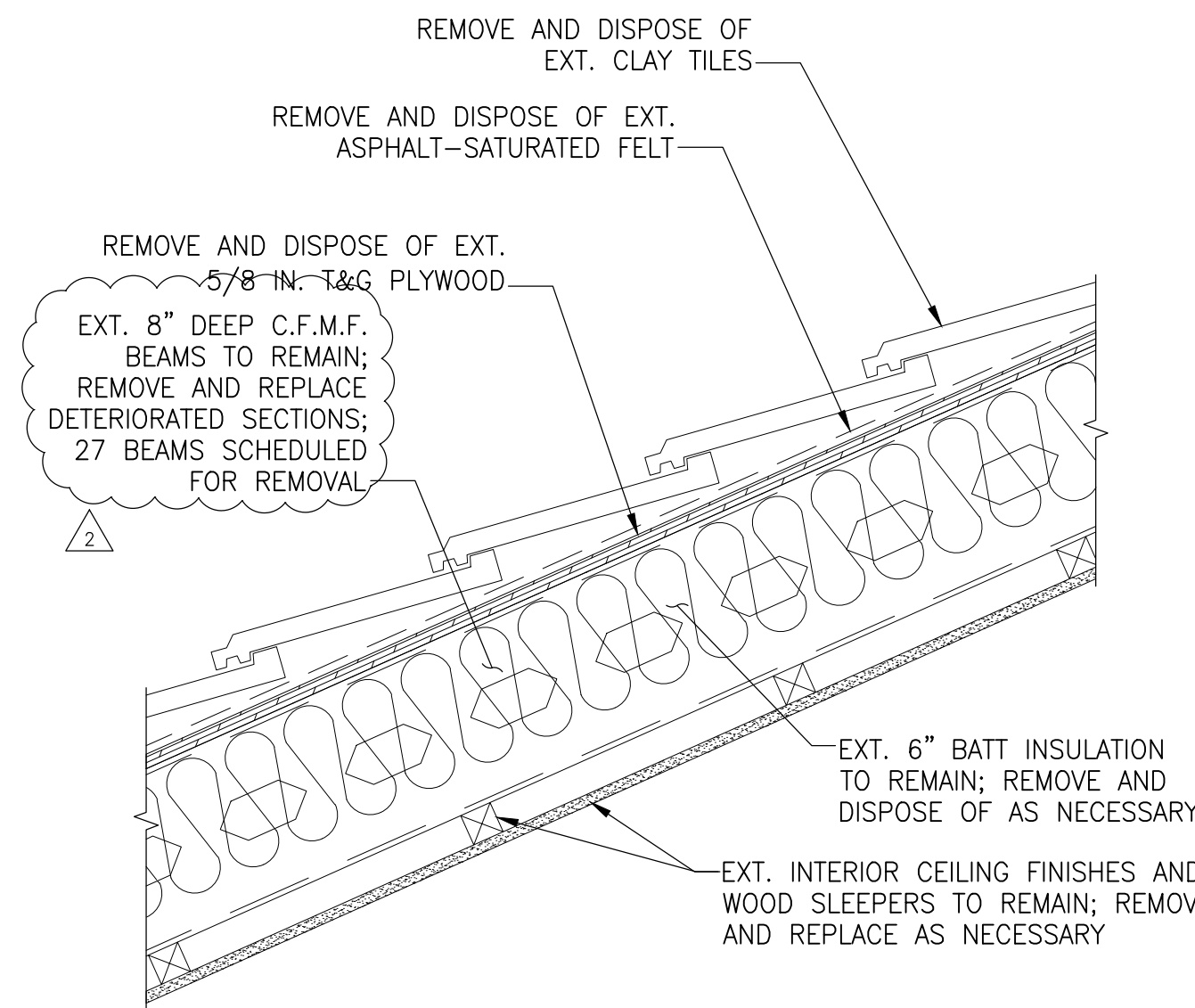
AD110 3" = 1'-0"



NOTE: REMOVE AND DISPOSE OF EXT. GRAVEL STOPS AND/OR PARAPET COPINGS. REFER TO AD-110 PLAN AND A-530 FOR EXTENT OF REMOVALS.

2 REMOVALS - TYPICAL GYMNASIUM AND CENTER ROOFING AREAS

AD110 3" = 1'-0"

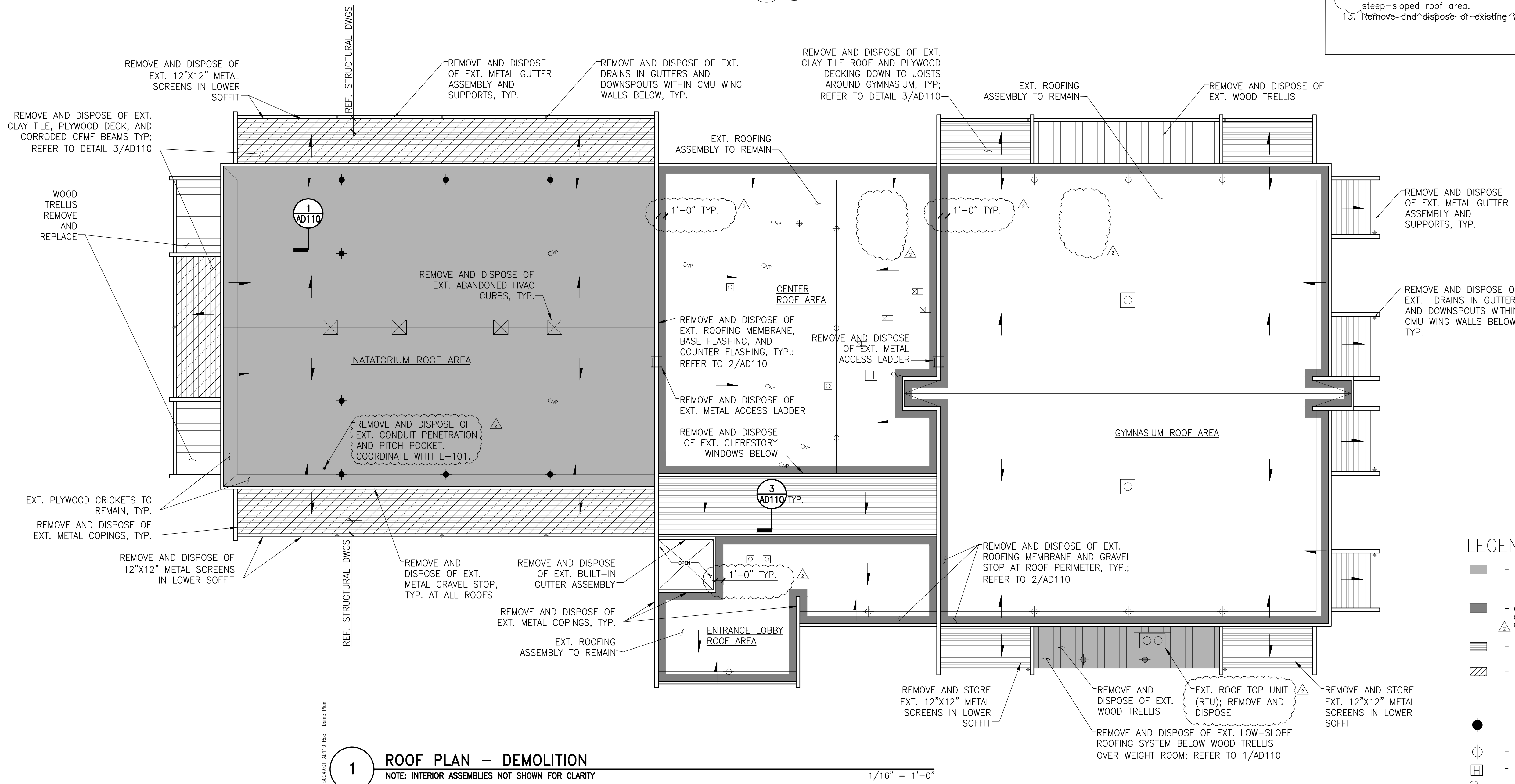


3 REMOVALS - TYPICAL CLAY TILE ROOF

AD110 1 1/2" = 1'-0"

GENERAL SCOPE OF WORK SHOWN ON THIS DRAWING:

- Natorium and Weight Room Roofs:
1. Remove and dispose of the existing roofing membrane, gravel surfacing, rigid insulation, and vapor retarder over the existing wood decking.
 2. Remove and dispose of deteriorated portions of the existing wood decking. Assume 520 SF (approximately 5%) of the Natatorium roof deck will require replacement.
 3. Remove and dispose of the existing pipe penetration flashings, roof drain bowls and strainers, metal coping, and gravel stop.
 4. Remove and dispose of the existing HVAC curbs. Temporarily remove and cap existing conduit on roof (V.I.F. if active).
- Gymnasium and Central Roof Areas:
5. Remove and dispose of a 24 in. wide strip of the existing roofing membrane and gravel surfacing over the existing insulation and wood decking around the roof perimeters.
 6. Remove and dispose of the existing roofing membrane, gravel surfacing, rigid insulation, and membrane underlayment over the low-slope roof above the Weight Room along the south elevation of the Gymnasium.
 7. Remove and dispose of the existing metal copings, gravel stops, membrane base flashings and metal counterflashings.
 8. Remove and dispose of the existing metal roof ladders from the low roof onto the Natatorium and Gymnasium roofs.
 9. Remove and store, or protect in place, any and all rooftop equipment or penetrations that are locations within the roofing removal. Remove and dispose of the existing roof drain bowls at the low-slope roof above the Weight Room.
- Steep-Slope Roofs:
10. Remove and dispose of the existing clay tile shingles, roofing underlayment(s), plywood sheathing, metal flashings, metal counterflashings, and metal copings.
 11. Remove and dispose of the existing metal gutter liner, gutter supports and framing, internal drains, and downleaders set within the CMU fin walls.
 12. Around the Natatorium, remove and replace bottom section of corroded roof joist as shown on the structural drawings. Assume 37 joists will be further corroded or deteriorated and require full removal at steep-sloped roof area.
 13. Remove and dispose of existing wood trellis.



1 ROOF PLAN - DEMOLITION

NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY

1/16" = 1'-0"

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20200 OBSERVATION DRIVE GERMANTOWN, MD 20876

OVERALL ROOF DEMOLITION PLAN

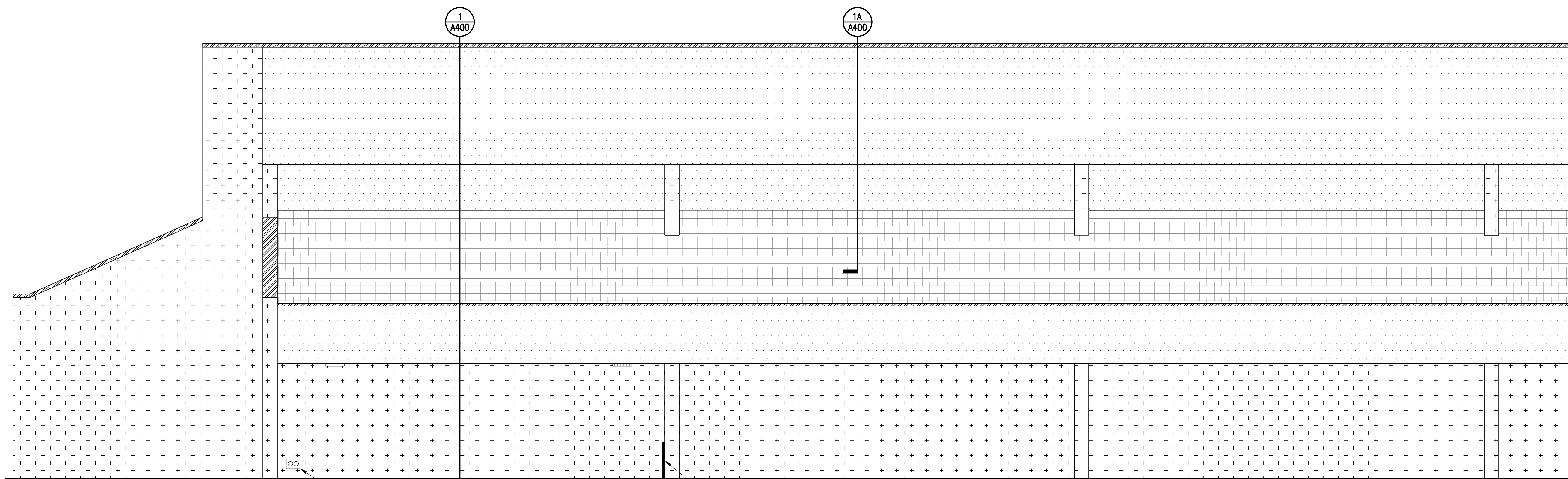
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| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS NOTED |

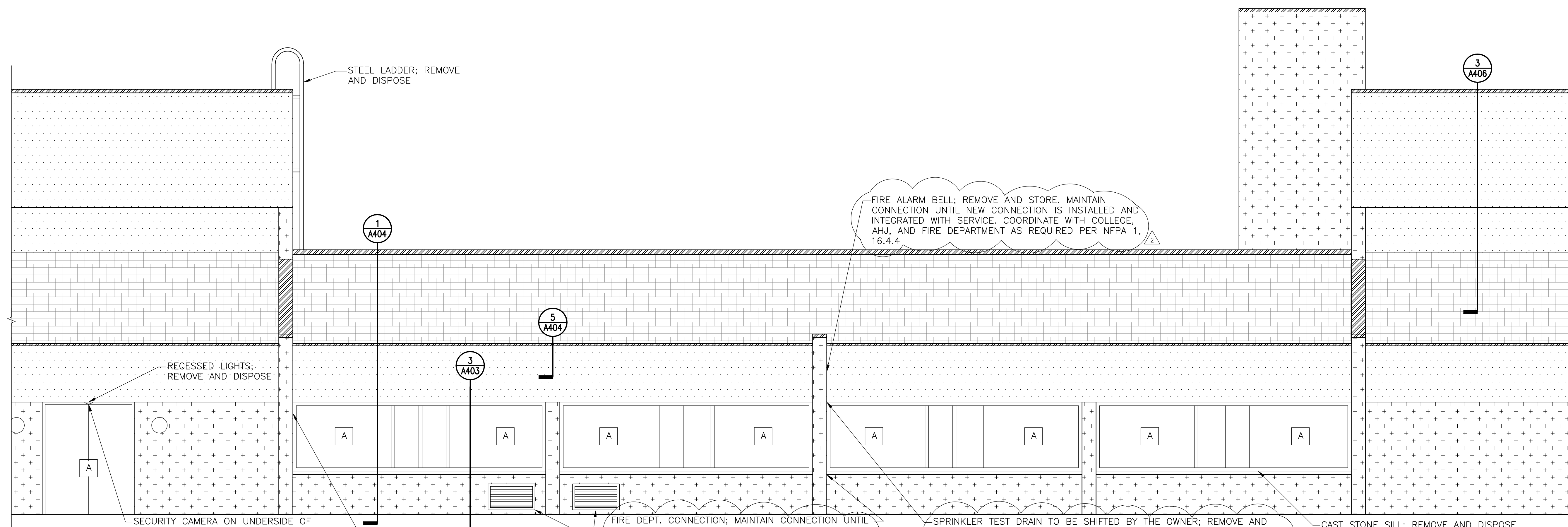
Drawing No. **AD110**

PERMIT RESPONSE SET

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| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 SOUTH ELEVATION - WEST END
HOSE BIB; REMOVE, DISPOSE, AND PROTECT CONNECTION DURING CONSTRUCTION
15 1/2" x 30 x 2 1/2" BUMPOUT - REMOVE AND PATCH CMU WALL AS NECESSARY
1/4" = 1'-0"



2 SOUTH ELEVATION - MIDDLE
STEEL LADDER; REMOVE AND DISPOSE
RECESSED LIGHTS; REMOVE AND DISPOSE
SECURITY CAMERA ON UNDERSIDE OF SOFFIT; REMOVE AND STORE
PIPE PENETRATION THROUGH SOFFIT; PROTECT IN PLACE
EXISTING LOUVER; REMOVE AND DISPOSE
FIRE DEPT. CONNECTION; MAINTAIN CONNECTION UNTIL NEW CONNECTION IS INSTALLED AND INTEGRATED WITH SERVICE. COORDINATE WITH COLLEGE, AHJ, AND FIRE DEPARTMENT AS REQUIRED PER NFPA 1, 16.4.4
FIRE ALARM BELL; REMOVE AND STORE. MAINTAIN CONNECTION UNTIL NEW CONNECTION IS INSTALLED AND INTEGRATED WITH SERVICE. COORDINATE WITH COLLEGE, AHJ, AND FIRE DEPARTMENT AS REQUIRED PER NFPA 1, 16.4.4
SPRINKLER TEST DRAIN TO BE SHIFTED BY THE OWNER; REMOVE AND STORE. MAINTAIN CONNECTION UNTIL NEW CONNECTION IS INSTALLED AND INTEGRATED WITH SERVICE. COORDINATE WITH COLLEGE, AHJ, AND FIRE DEPARTMENT AS REQUIRED PER NFPA 1, 16.4.4
CAST STONE SILL; REMOVE AND DISPOSE, TYP. AT WINDOWS
1/4" = 1'-0"

LEGEND:

| | | |
|--|--|---|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110 | LIGHT FIXTURE; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF | METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE | PANEL BOX; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE | METAL LOUVER | VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE |
| NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work. | DOOR, WINDOW; REMOVE AND DISPOSE | WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE |
| | HOSE BIB; REMOVE AND DISPOSE | NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS |
| | RECESSED LIGHT; REMOVE AND DISPOSE | |
| | TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN) | |

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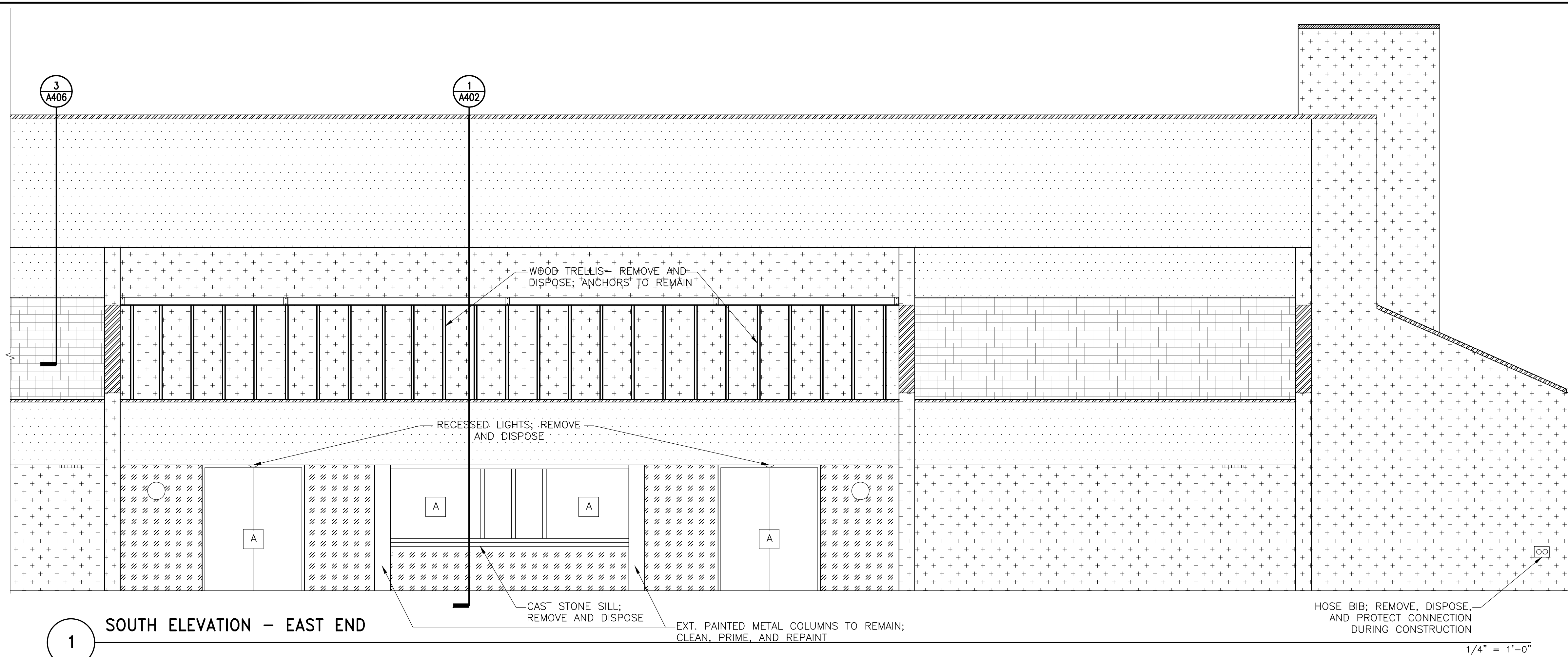
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20200 OBSERVATION DRIVE
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**DEMOLITION
ELEVATIONS**

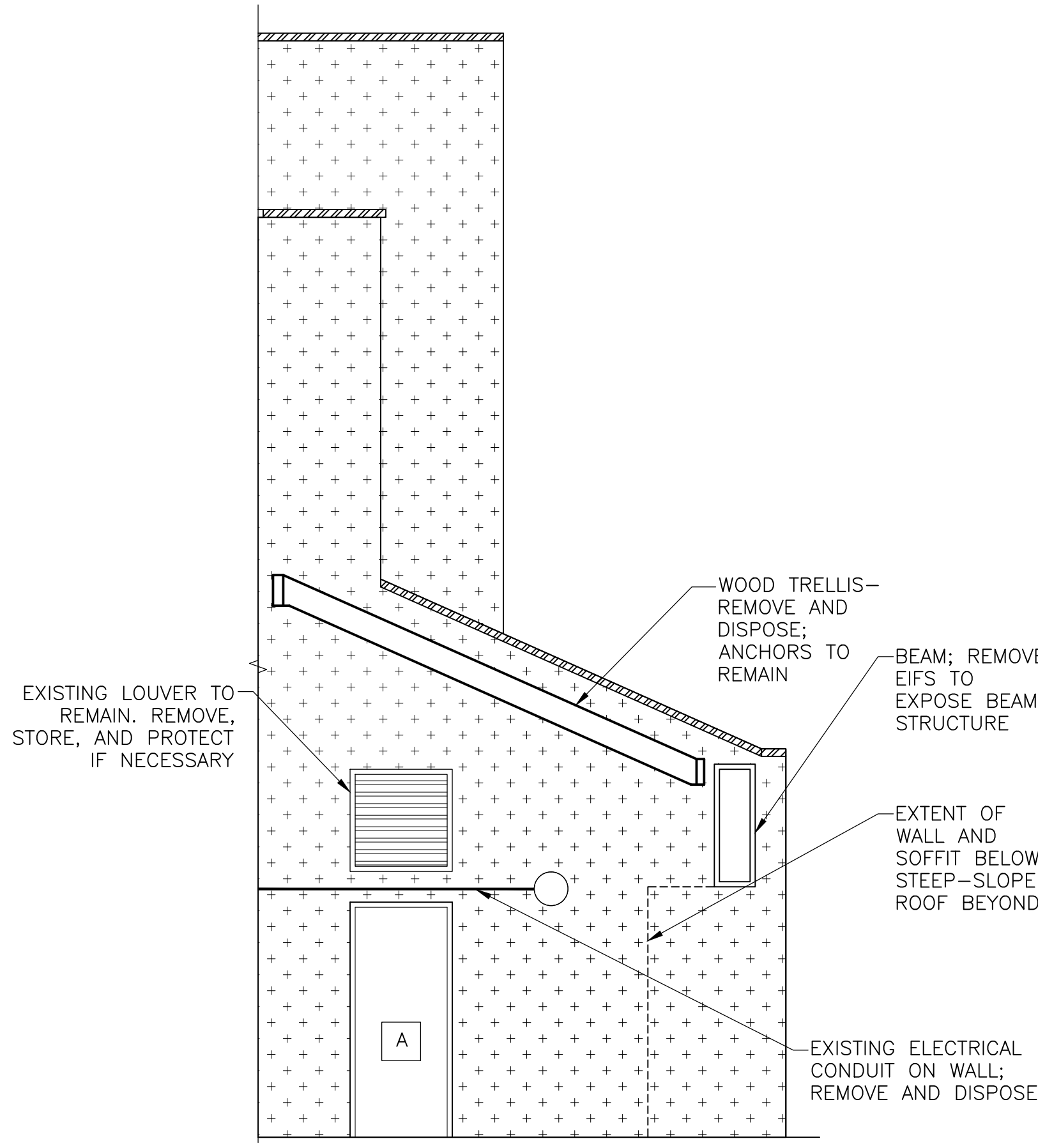
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| Drawing No. AD201 | | Seal |

PERMIT RESPONSE SET

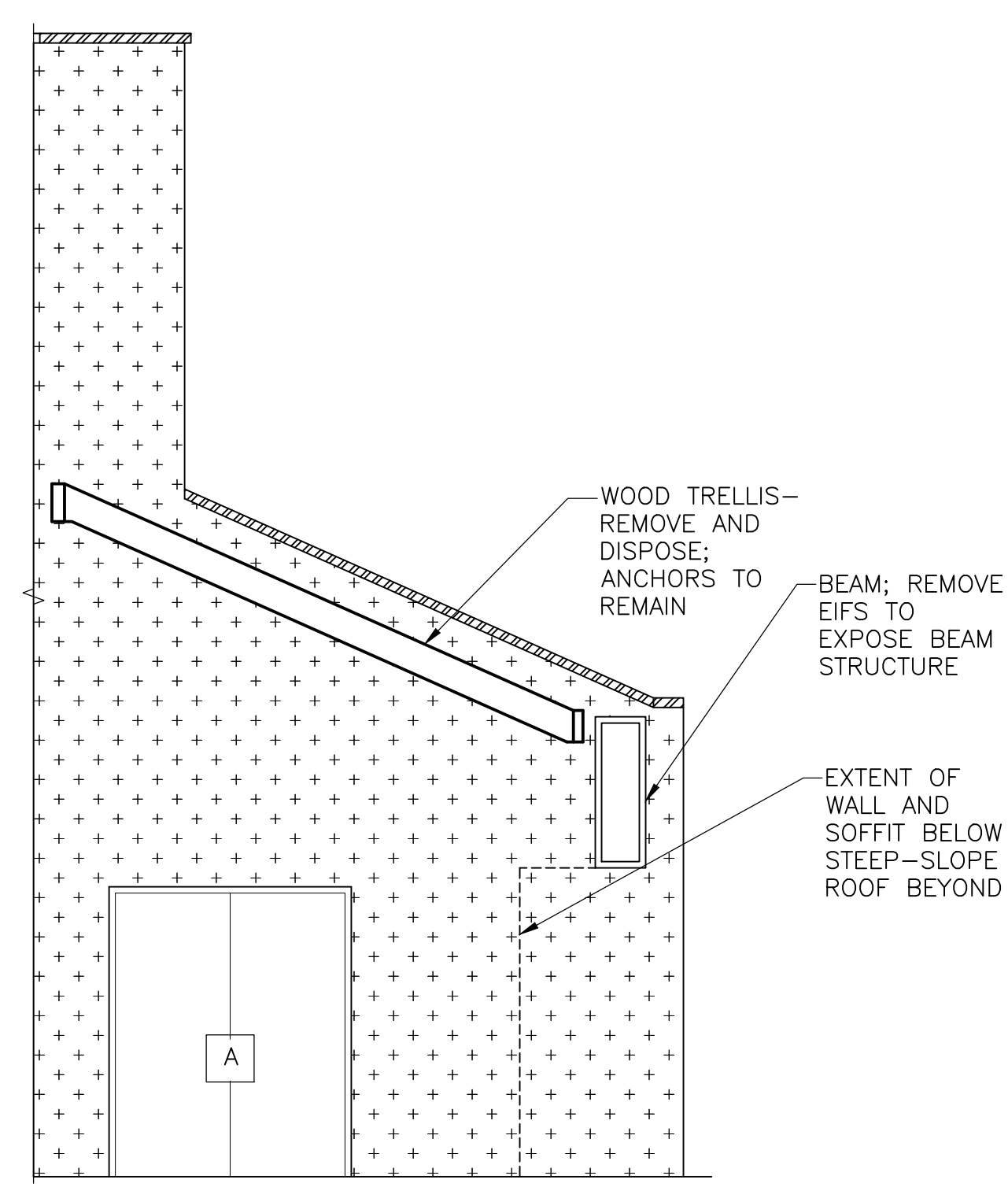
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1 SOUTH ELEVATION - EAST END



2 PARTIAL ELEVATION AT EAST END OF GYMNASIUM



3 PARTIAL ELEVATION AT NORTH END OF GYMNASIUM

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

LEGEND:

| | |
|--|--|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110 |
| EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF | METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE | METAL LOUVER |
| DOOR/WINDOW; REMOVE AND DISPOSE | LIGHT FIXTURE; REMOVE AND DISPOSE |
| HOSE BIB; REMOVE AND DISPOSE | PANEL BOX; REMOVE AND DISPOSE |
| RECESSED LIGHT; REMOVE AND DISPOSE | VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE |
| TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN) | WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

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GERMANTOWN CAMPUS
2020 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

**DEMOLITION
ELEVATIONS**

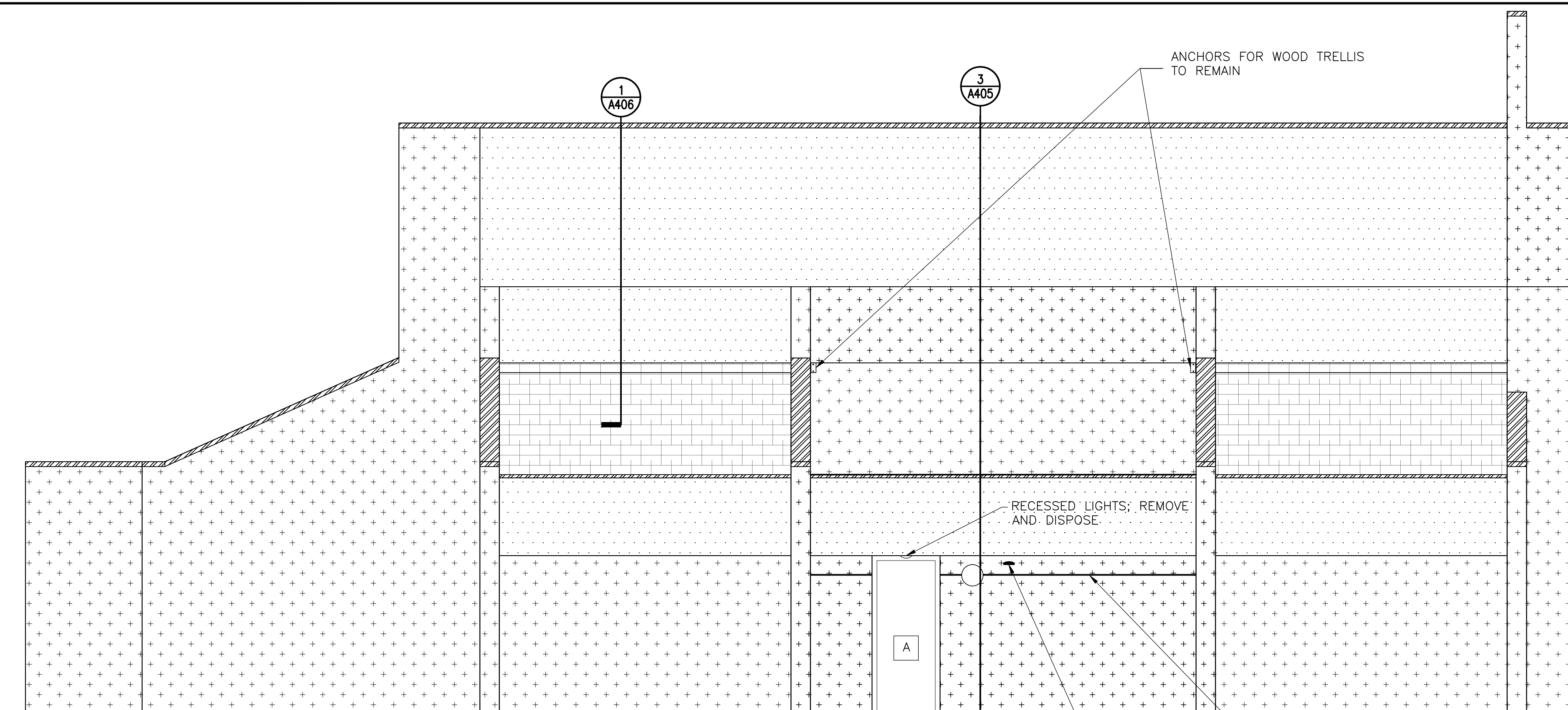
Drawing Title

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Drawing No.
AD202

Seal

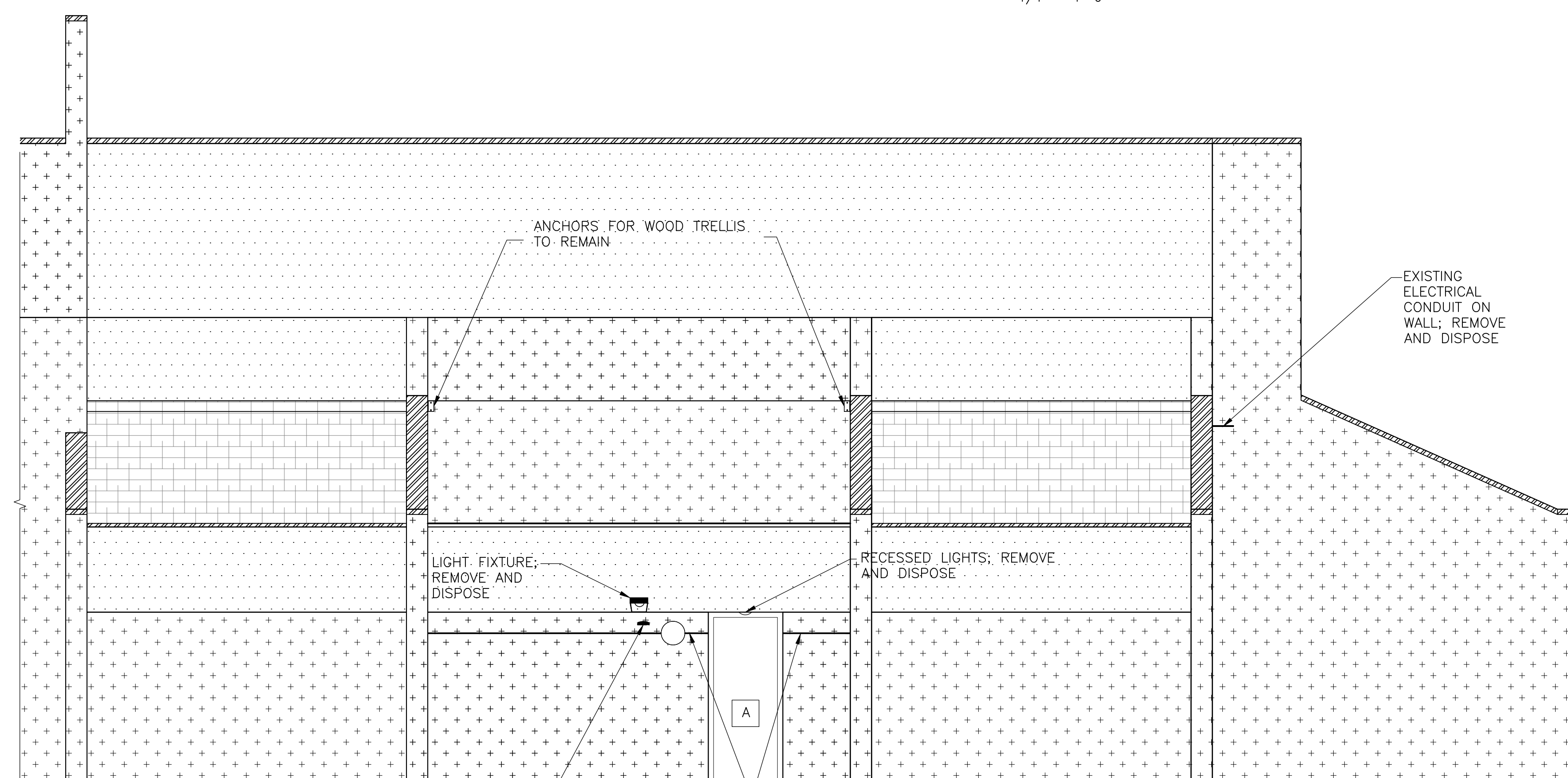
PERMIT RESPONSE SET



EAST ELEVATION - SOUTH END

1

1/4" = 1'-0"



EAST ELEVATION - NORTH END

2

1/4" = 1'-0"

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

LEGEND:

- DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED
- EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF
- EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE

- CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110
- METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE
- METAL LOUVER

- DOOR/WINDOW; REMOVE AND DISPOSE
- HOSE BIB; REMOVE AND DISPOSE
- RECESSED LIGHT; REMOVE AND DISPOSE
- TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN)

- LIGHT FIXTURE; REMOVE AND DISPOSE
- PANEL BOX; REMOVE AND DISPOSE
- VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE
- WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

PERMIT RESPONSE SET

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Project

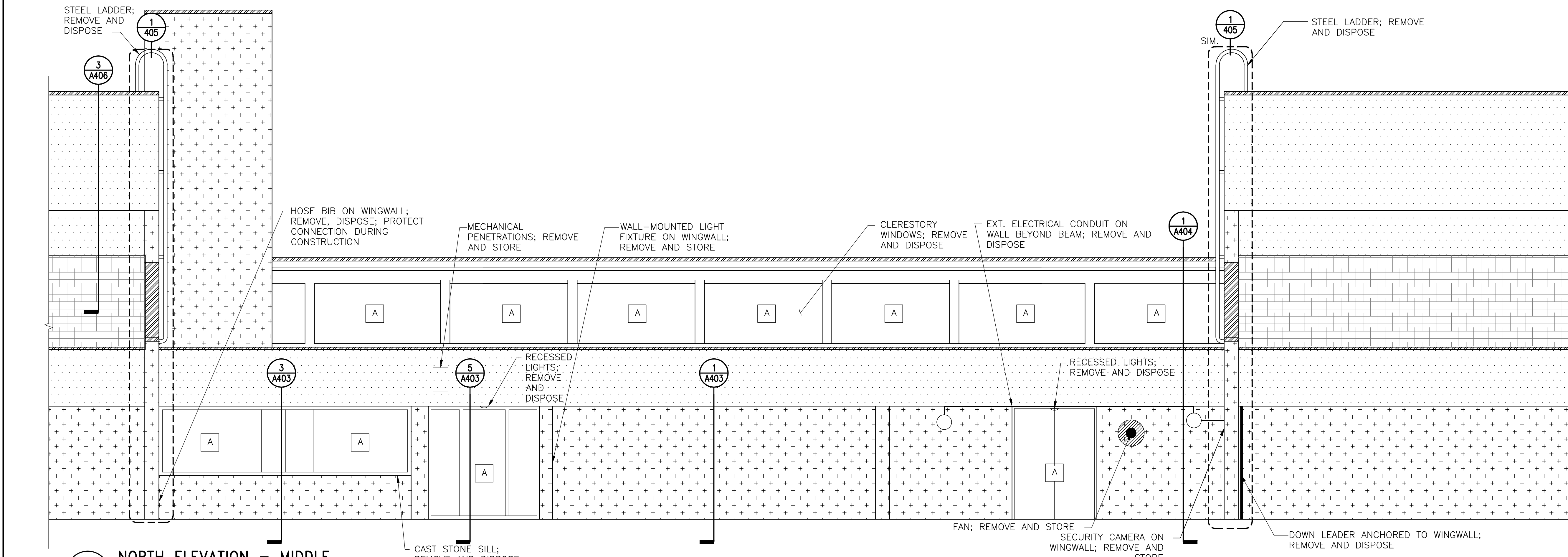
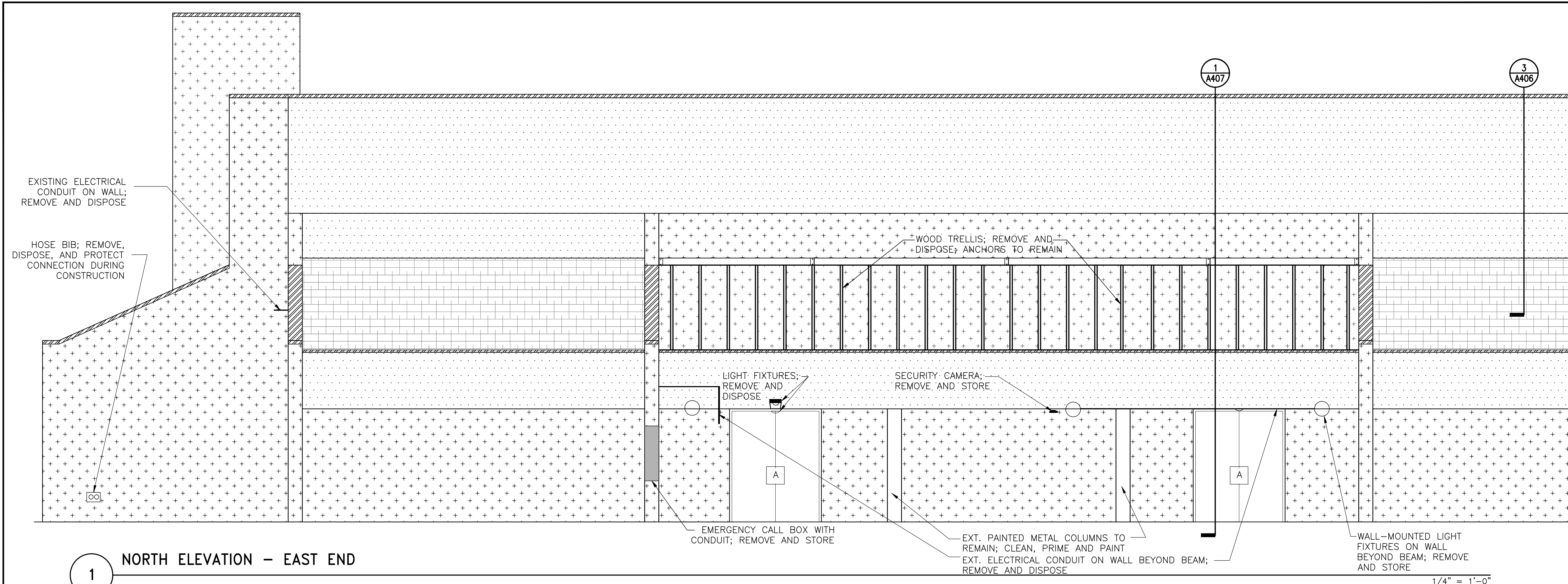
**DEMOLITION
ELEVATIONS**

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |

Drawing No.
AD203

Seal



LEGEND:

| | | | |
|--|--|--|---|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110 | DOOR/WINDOW; REMOVE AND DISPOSE | LIGHT FIXTURE; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF | METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE | HOSE BIB; REMOVE AND DISPOSE | PANEL BOX; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE | METAL LOUVER | RECESSED LIGHT; REMOVE AND DISPOSE | VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE |
| | | TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN) | WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15484 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

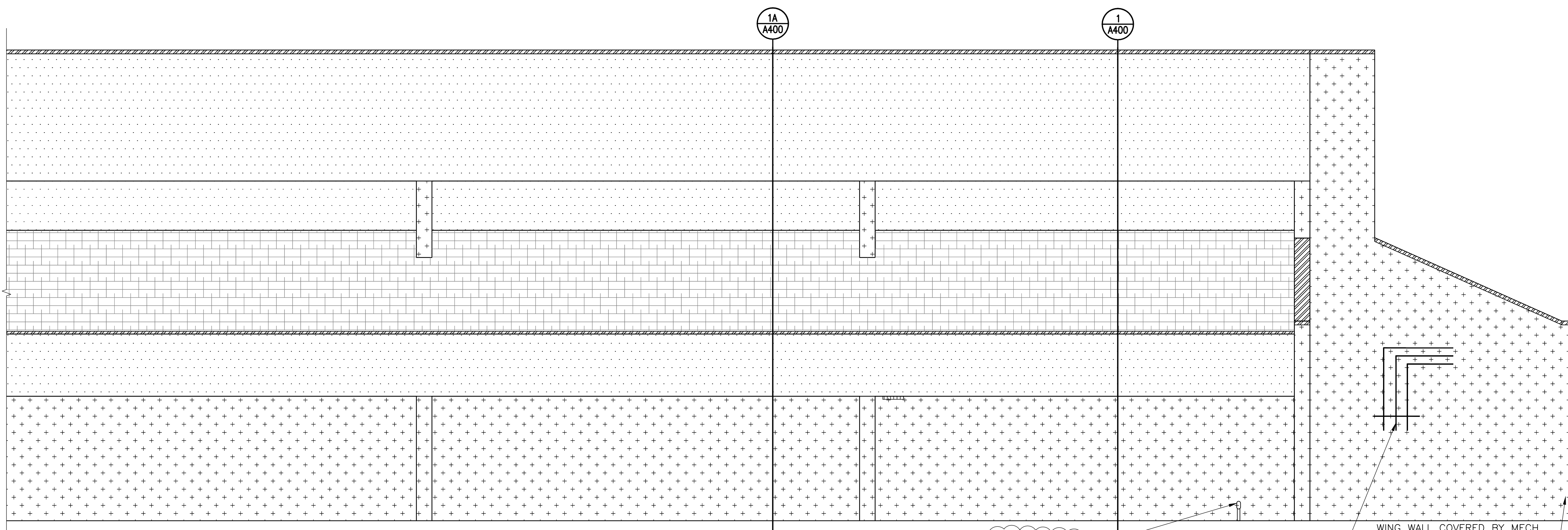
Project

**DEMOLITION
ELEVATIONS**

Drawing Title

| | | |
|-----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. AD204 | | Seal |

PERMIT RESPONSE SET



1 NORTH ELEVATION - WEST END

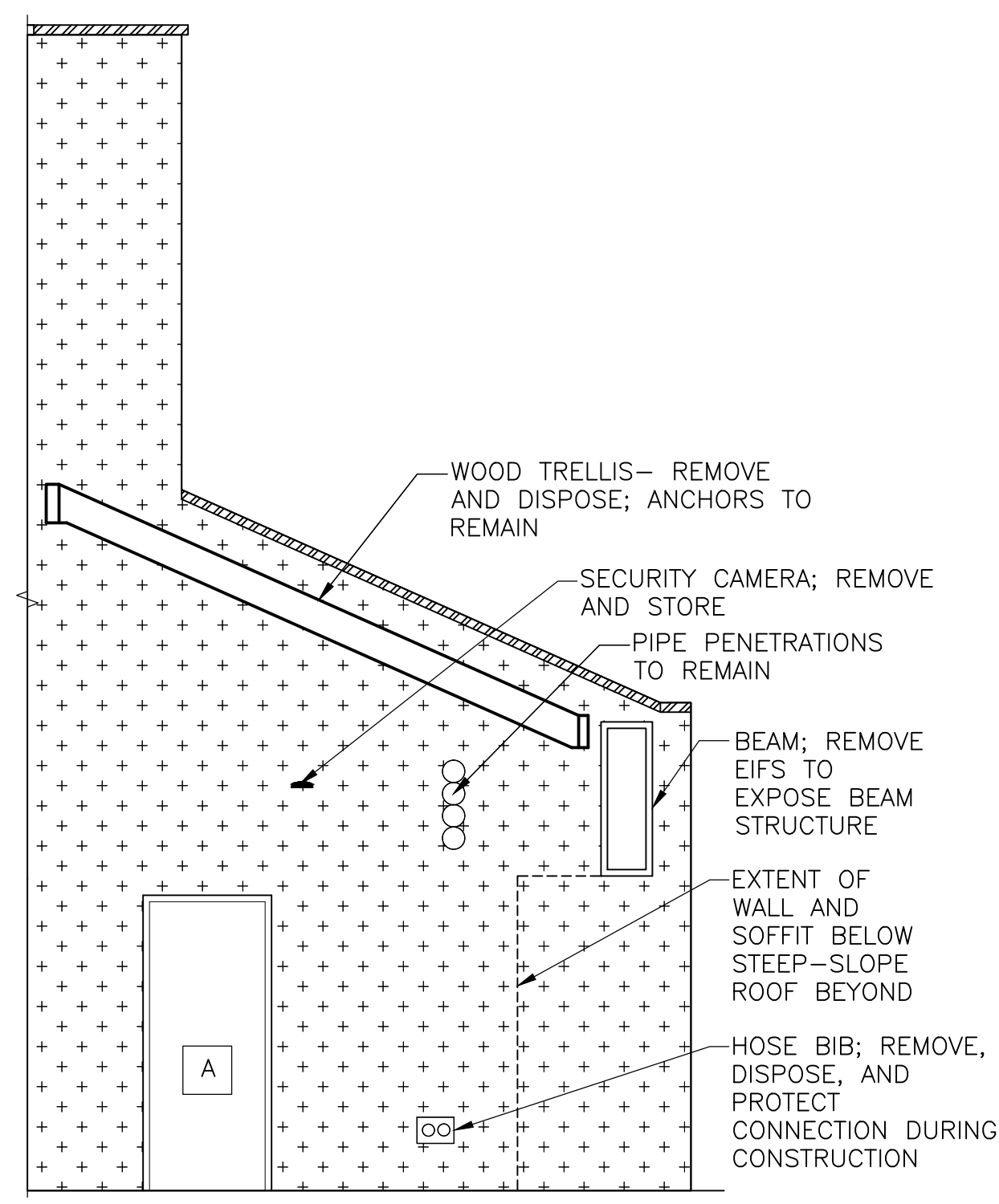
EXISTING ELECTRICAL CONDUIT TO REMAIN
EXISTING ELECTRICAL CONDUIT; REMOVE AND STORE; EXTEND EXISTING PIPE PENETRATIONS THROUGH FUTURE EIFS.
WING WALL COVERED BY MECH. SCREEN WALL. VERIFY ALL EXT. MECH. PENETRATIONS TO REMAIN. PROTECT DURING CONSTRUCTION.

1/4" = 1'-0"

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LICENSE NO. 15484
EXPIRATION DATE: 08-02-2017

PERMIT RESPONSE SET

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |



2 PARTIAL ELEVATION AT WEST END OF POOL

1/4" = 1'-0"

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

LEGEND:

| | |
|--|--|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110 |
| EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF | METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE |
| EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE | METAL LOUVER |
| DOOR/WINDOW; REMOVE AND DISPOSE | LIGHT FIXTURE; REMOVE AND DISPOSE |
| HOSE BIB; REMOVE AND DISPOSE | PANEL BOX; REMOVE AND DISPOSE |
| RECESSED LIGHT; REMOVE AND DISPOSE | VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE |
| TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN) | WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

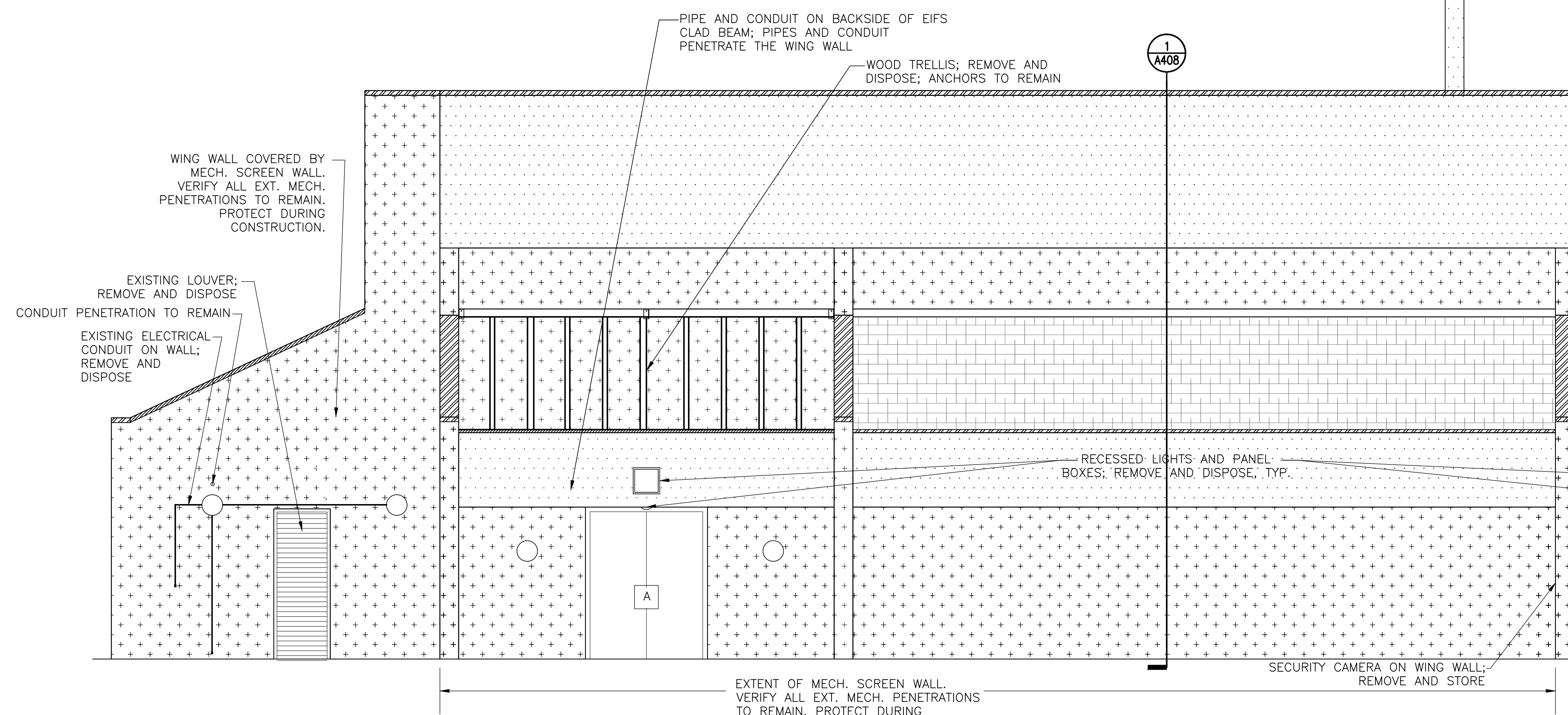
**DEMOLITION
ELEVATIONS**

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |

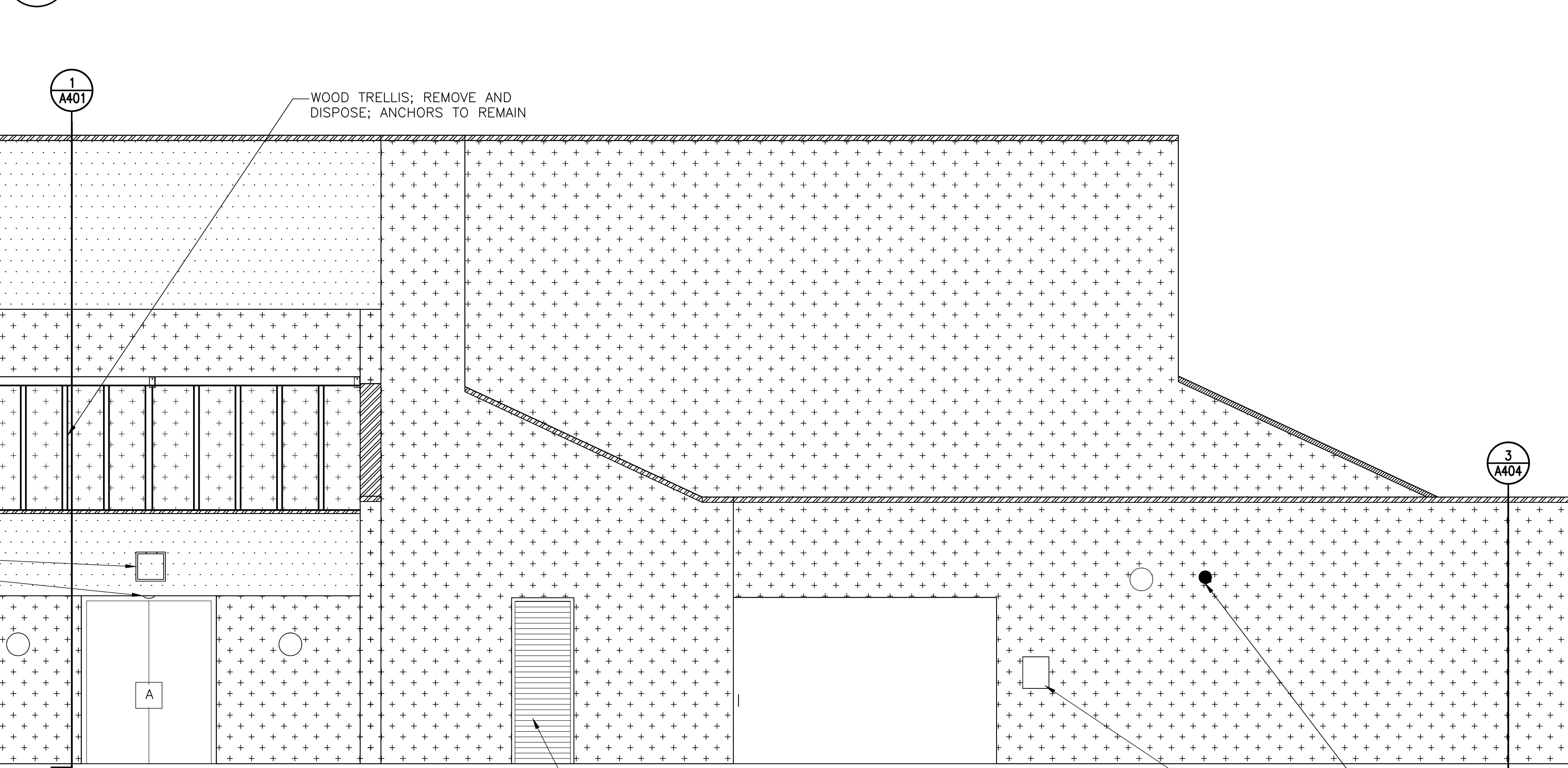
Seal

Drawing No.
AD205



1 WEST ELEVATION - NORTH END

1/4" = 1'-0"



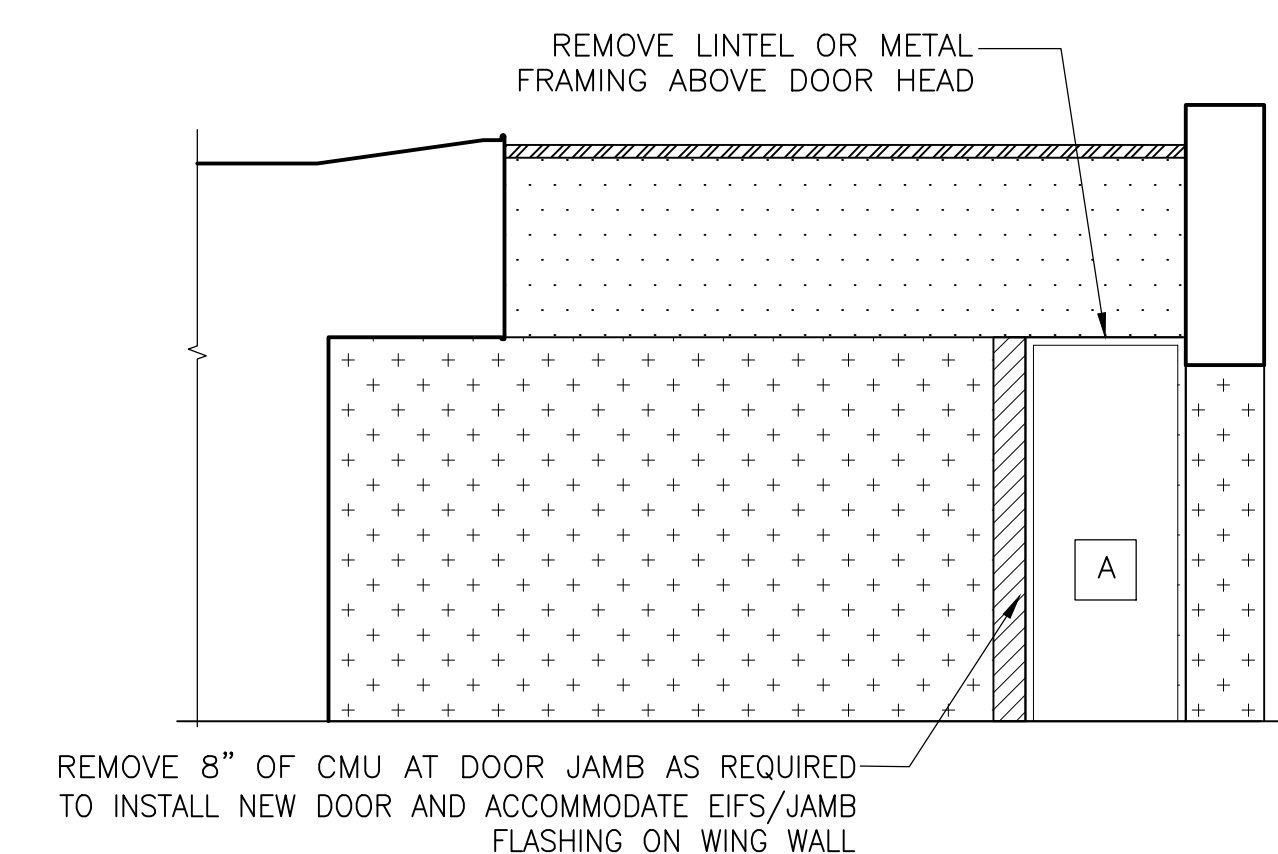
2 WEST ELEVATION - SOUTH END

1/4" = 1'-0"

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

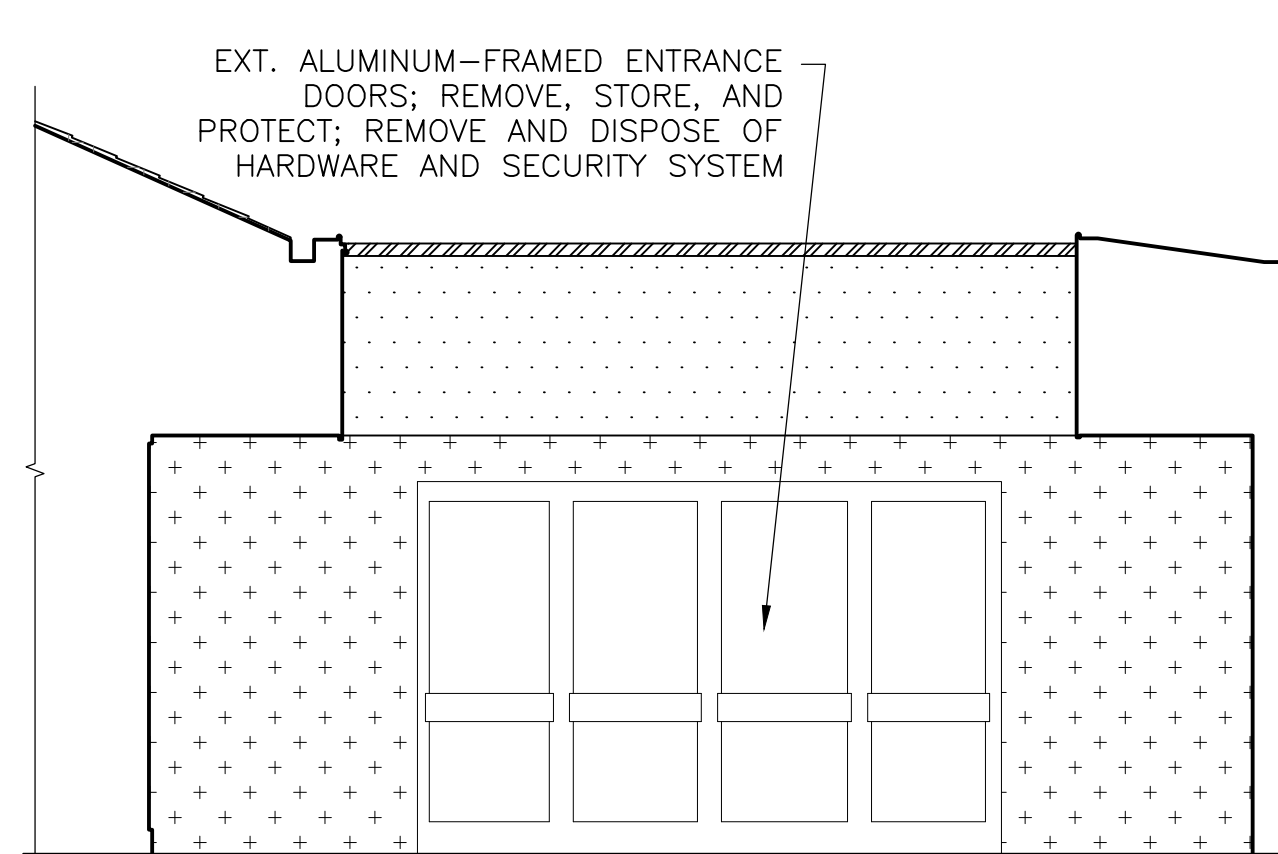
LEGEND:

- DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED
- CLAY TILE ROOF; REMOVE AND DISPOSE DOWN TO EXISTING JOISTS AS SHOWN ON AD110
- METAL GRAVEL STOP AND COPINGS; REMOVE AND DISPOSE
- EIFS ASSEMBLY OVER SHEATHING AND CFMF BACKUP; REMOVE AND DISPOSE CLADDING AND CFMF
- METAL LOUVER
- EIFS ASSEMBLY OVER CMU BACKUP; REMOVE AND DISPOSE
- DOOR/WINDOW; REMOVE AND DISPOSE
- HOSE BIB; REMOVE AND DISPOSE
- RECESSED LIGHT; REMOVE AND DISPOSE
- TRELLIS ANCHORS TO REMAIN; ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM (NOT SHOWN)
- LIGHT FIXTURE; REMOVE AND DISPOSE
- PANEL BOX; REMOVE AND DISPOSE
- VENT ON UNDERSIDE OF SOFFIT; REMOVE AND STORE
- WALL-MOUNTED LIGHT FIXTURE; REMOVE AND STORE



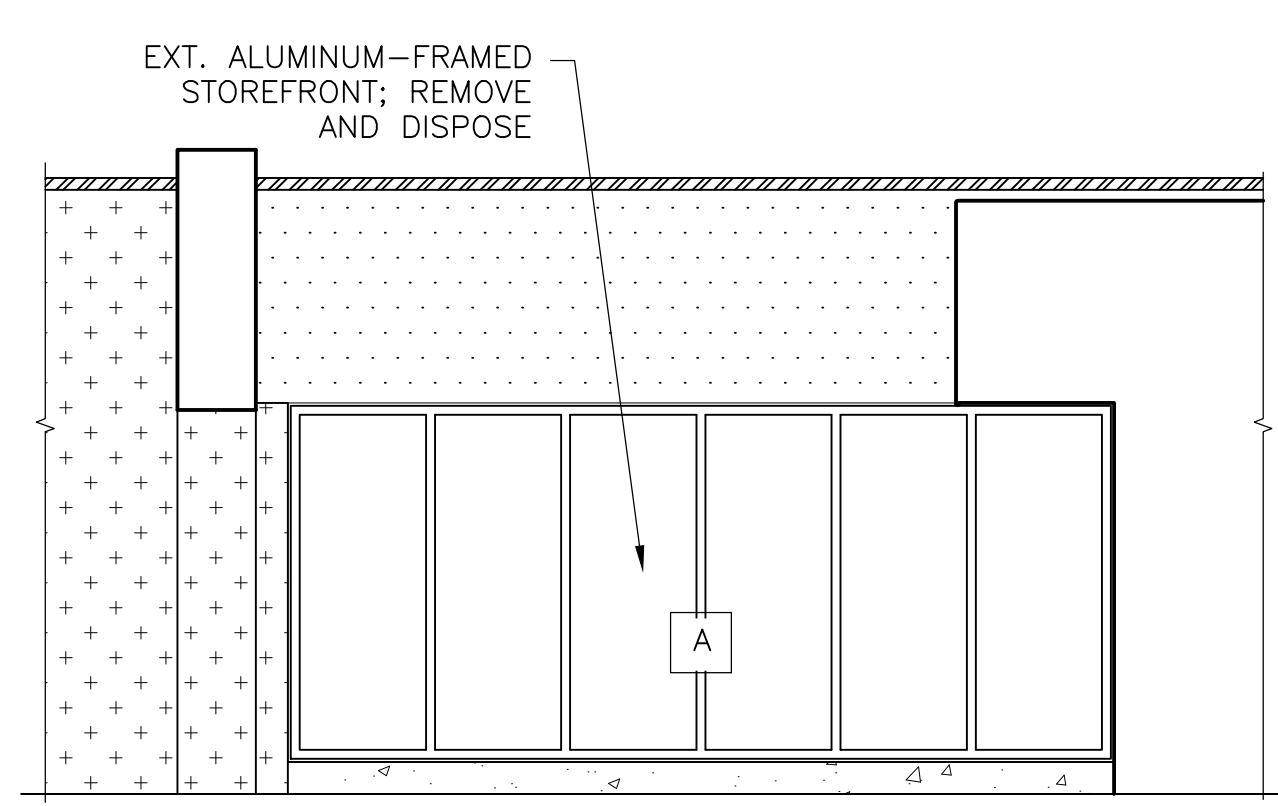
3 NORTH-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"



4 WEST-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"



5 SOUTH-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"

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| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

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EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

**DEMOLITION
ELEVATIONS**

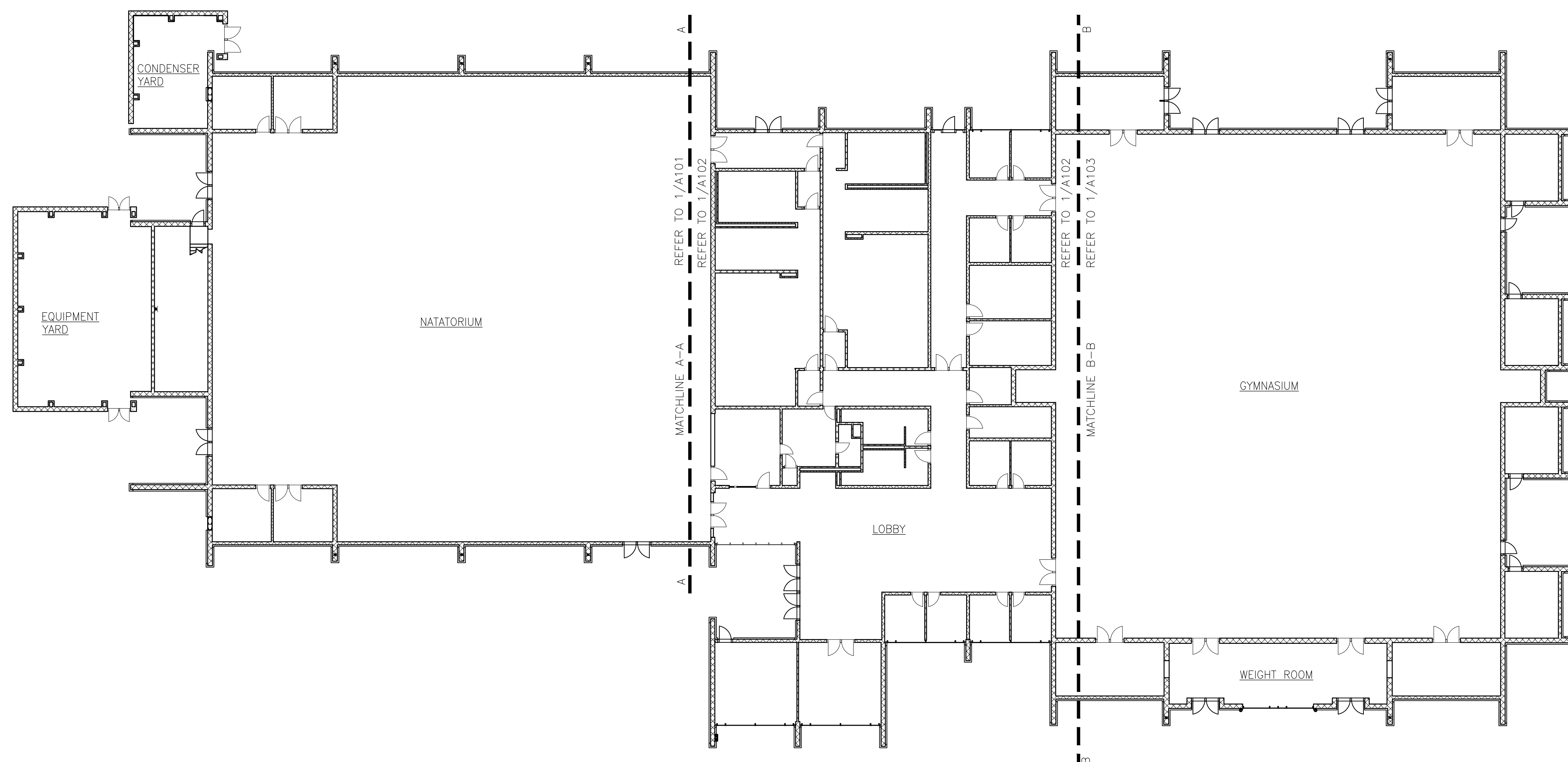
Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |

Drawing No.
AD206

PERMIT RESPONSE SET

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
| Cost Estimating Consultant | Forella Group, LLC. 9495 Silver King Ct., Suite A Fairfax, VA 22031 703.560.2200 |
| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 FIRST FLOOR PLAN – OVERALL
 NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
 1/16" = 1'-0"

PERMIT RESPONSE SET

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 LICENSE NO. 15484
 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

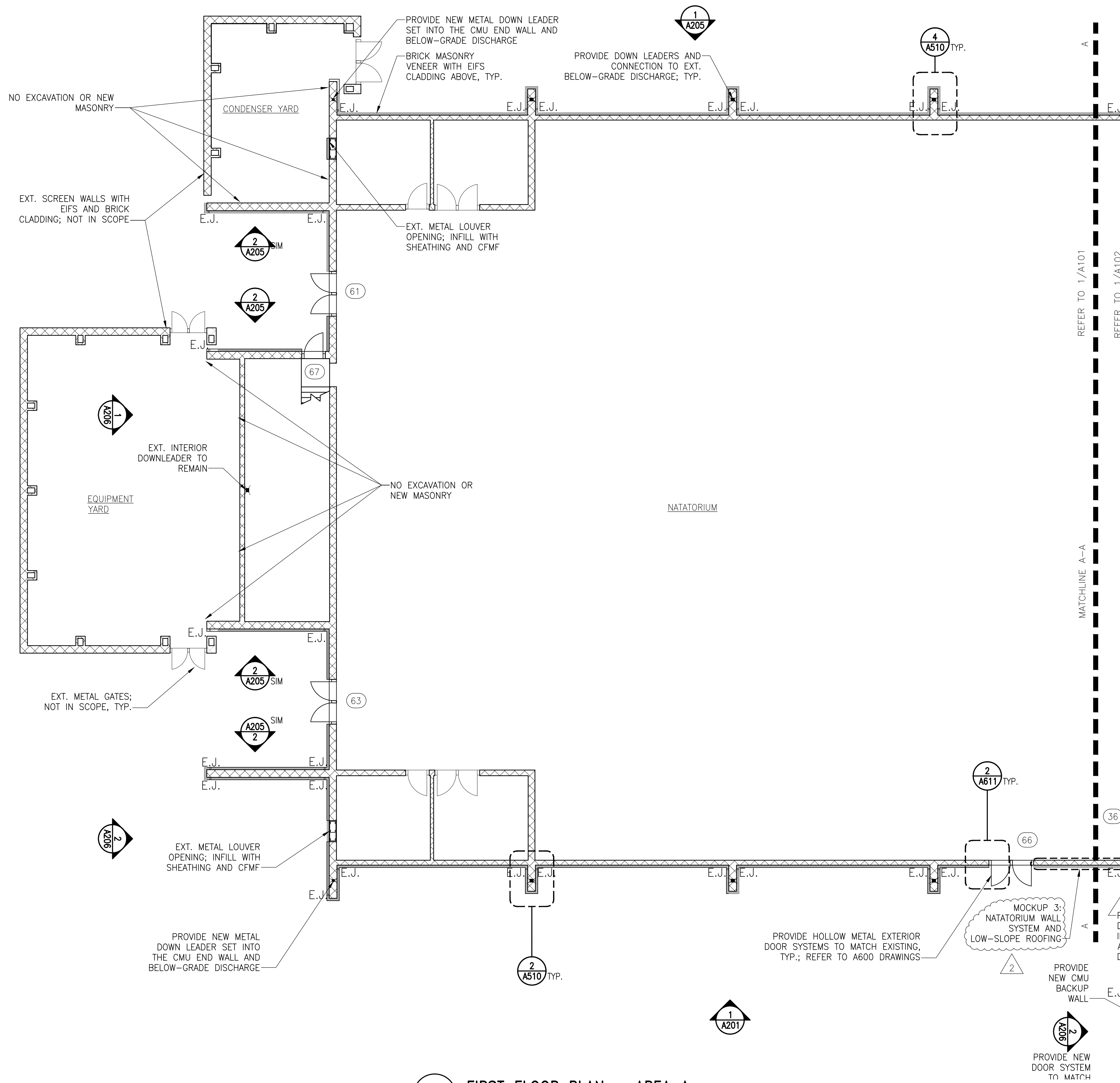
**PHYSICAL EDUCATION BLDG
 EXTERIOR RENOVATION
 MONTGOMERY COLLEGE
 GERMANTOWN CAMPUS**
 20200 OBSERVATION DRIVE
 GERMANTOWN, MD 20876

Project

**OVERALL FIRST
 FLOOR PLAN**

Drawing Title

| | | |
|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A100 |

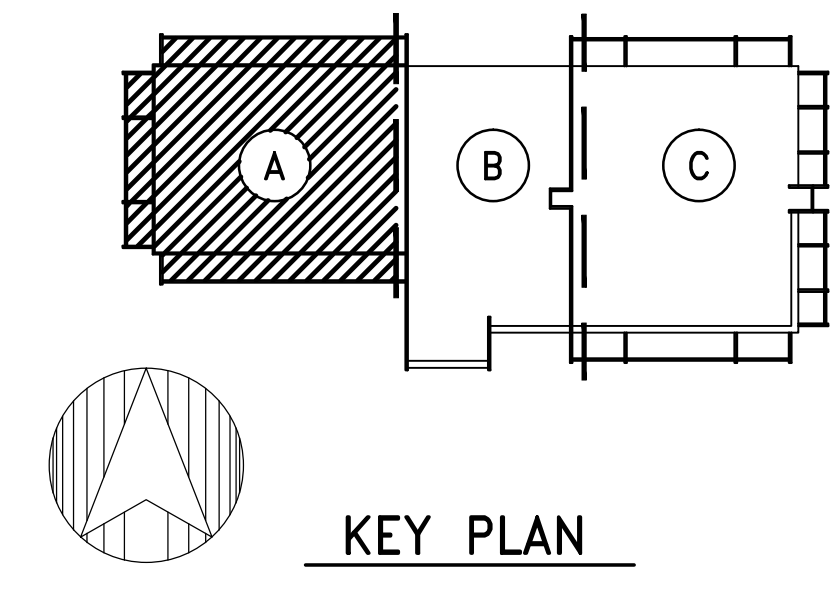


1 FIRST FLOOR PLAN - AREA A
 NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
 1/8" = 1'-0"

- GENERAL SCOPE OF WORK THIS DRAWING**
- Exterior Walls:
1. Install CMU curb over existing footing below grade.
 2. Patch over any areas of delaminated or missing stucco cladding on the CMU walls with a cementitious parge coat to provide a smooth backup wall substrate. Repair all spalled or damaged CMU per structural drawings.
 3. Replace the existing downleaders in the CMU wing walls with new downleaders and tie into the existing drainage assembly. Provide new downleaders in the CMU wing walls where shown on the drawings. Patch the CMU wing walls to provide a smooth substrate over the downleaders.
 4. Provide new C.F.M.F. and furrings at the upper and lower soffits, and at vertical exterior wall areas where shown on the drawings. locate framing along the underside of the soffits to account for the increased exterior insulation thickness and maintain existing elevation of the soffit finish and window/door heads.
 5. Provide new exterior gypsum sheathing over the upper and lower soffit framing and furrings and over framed exterior wall areas.
 6. Extend existing electrical, plumbing, and mechanical fixtures and other miscellaneous components out of the wall to accommodate the increased exterior insulation thickness.
 7. Provide self-adhered below-grade waterproofing membrane over the base of the existing or repaired exterior stucco on the CMU walls. extend the self-adhered membrane down the wall, over the new curb, and to the top of the existing footing.
 8. Provide self-adhered air/vapor barrier membrane over the existing or repaired exterior stucco on the CMU walls. Integrate the air/vapor barrier membrane with the below-grade waterproofing and the roofing assembly to provide a continuous air/vapor barrier system.
 9. Extend air/vapor barrier membrane past the soffit cladding and to the top of the CMU wall at all lower soffits below steep-sloped roofs. Provide metal lath and spray foam insulation between the top of the CMU wall and the underside of the steep slope roof sheathing, around the sloped beams, to form a continuous air barrier as shown on the drawings.
 10. Wrap the air/vapor barrier membrane around lower soffits not below steep-sloped roofing and around the upper soffits, where shown on the drawings. Integrate the air/vapor barrier membrane with the adjacent self-adhered membrane on the vertical exterior walls and steep-slope roofing assemblies as shown on the drawings to maintain a continuous air, vapor, and water barrier.
 11. Install perimeter flashings at all exterior door and window openings as shown on the drawings.
 12. Provide new aluminum-framed exterior storefront and entrances, curtain walls, and thermally broken hollow metal doors. integrate the fenestration components with the self-adhered membrane on the exterior walls.
 13. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
 14. Provide masonry veneer anchors around the bottom perimeter of the first floor walls.
 15. Install rigid insulation in the exterior wall cavity between and around the masonry veneer anchors.
 16. Provide brick masonry with dedicated through-wall flashing, weeps, mortar net, end dams, and cast stone water table around the base of the exterior walls as shown on the drawings.
 17. Provide EIFS assembly with metal lath and insulation thicknesses as shown in the drawings on the remaining exterior walls above the cast stone water table, around the upper and lower soffits, and other locations shown on the drawings. Detail EIFS assembly around exterior wall penetrations and other components.
 18. Install new metal roof access ladders extending from the low roof up to the pool and gym roofs. Coordinate ladder dimensions with the new cladding thickness. Integrate ladder supports with the new self-adhered membrane as shown in the drawings; do not penetrate the new or existing roofing assemblies with the ladders.
 19. Provide new treated wood-framed trellises. See structural drawings for new structural anchorage configuration.
 20. Install new metal copings and gravel edge stops at top of all walls and roof perimeters where shown on the drawings; coordinate this work with the low-slope and steep-slope roofing installation.
 21. Reinstall the exterior light fixtures, security cameras, fans, louvers and vents, fire alarm and fire department connection, access hatches, electrical conduits, and other miscellaneous components over the EIFS unless otherwise described in the drawings.
 22. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.

- LEGEND**
- ### - DOOR DESIGNATION
 - M - DOOR SWING DIRECTION
 - CW-# - CURTAIN WALL DESIGNATION
 - - CURTAIN WALL
 - L-# - LOUVER DESIGNATION
 - - METAL LOUVER
 - ▨ - EX. CMU WALLS
 - - DOWN LEADER
 - ▨ - APPROXIMATE EXTENT OF NEW CLADDING ASSEMBLIES
 - E.J. - EXPANSION JOINT THROUGH BRICK CLADDING

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.



SIMPSON GUMPERTZ & HEGER
 Engineering of Structures and Building Enclosures

Simpson Gumpertz & Heger Inc.
 1828 L Street NW, Suite 950
 Washington, DC 20036
 main: 202.239.4199 fax: 202.239.4198
 www.sgh.com

Boston
 Chicago
 Los Angeles
 New York
 San Francisco
 Washington, DC

Door Hardware Consultant: **Erbach Consulting Services, Inc.**
 7820 Carters Run Drive
 Marshall, VA 20115
 540.351.0553

Security Consultant: **GHD, Inc.**
 14585 Avion Parkway, Suite 150
 Chantilly, VA 20151
 571.325.5000

Cost Estimating Consultant: **Forella Group, LLC.**
 9495 Silver King Ct., Suite A
 Fairfax, VA 22031
 703.560.2200

Electrical Consultant: **bkm, Inc.**
 1416 Clarkview Road
 Baltimore, MD 21209
 410.323.0600

PERMIT RESPONSE SET

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| 2 | 01/22/16 | Bid Set | |
| 3 | 11/20/15 | Pricing/Permit Set | |
| 4 | 08/28/15 | 100% Design Development | |

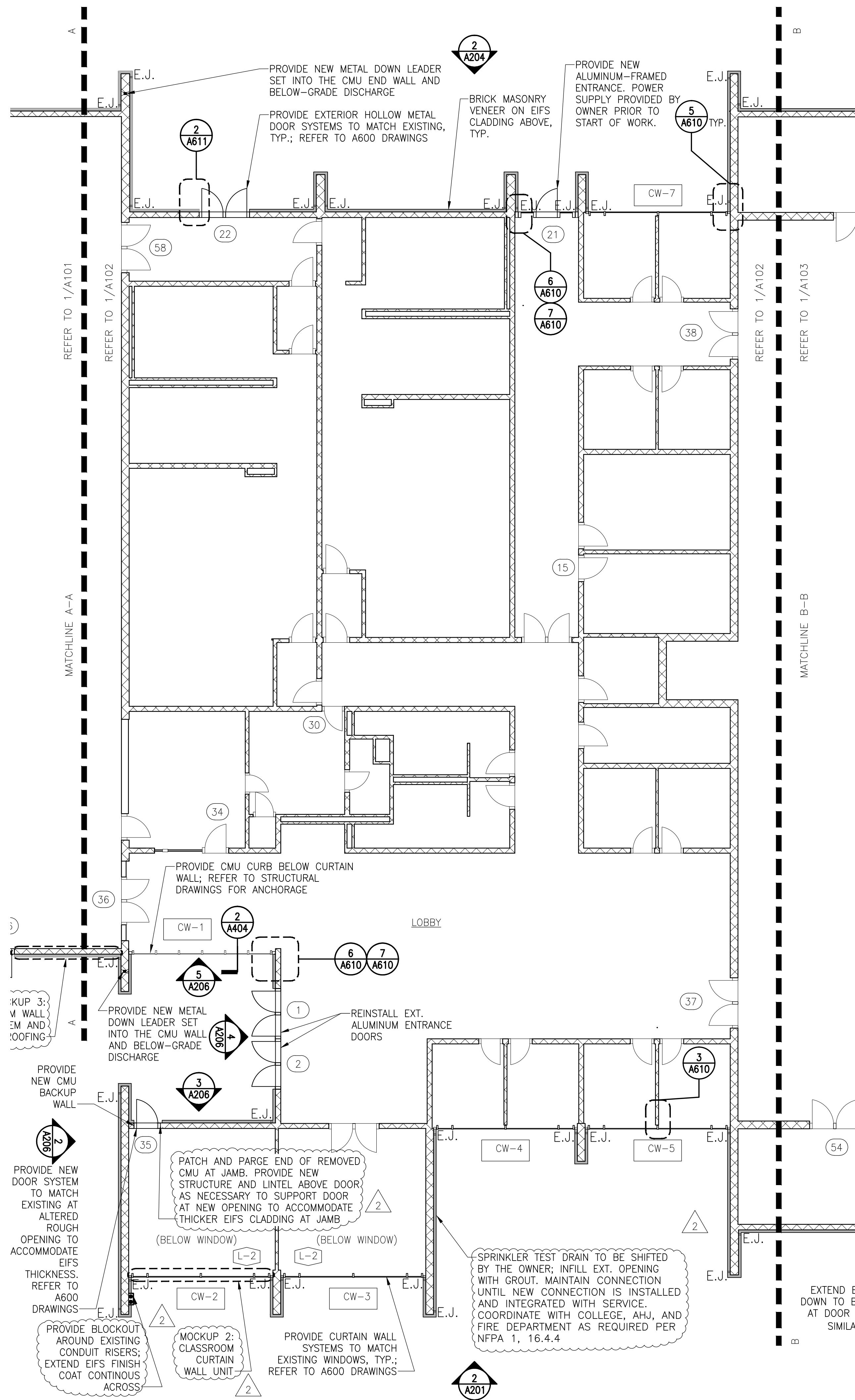
**PHYSICAL EDUCATION BLDG
 EXTERIOR RENOVATION
 MONTGOMERY COLLEGE
 GERMANTOWN CAMPUS
 20200 OBSERVATION DRIVE
 GERMANTOWN, MD 20876**

PARTIAL FIRST FLOOR PLAN

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS NOTED |

Drawing No.
A101



1 FIRST FLOOR PLAN – AREA B
 NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY

1/8" = 1'-0"

GENERAL SCOPE OF WORK THIS DRAWING

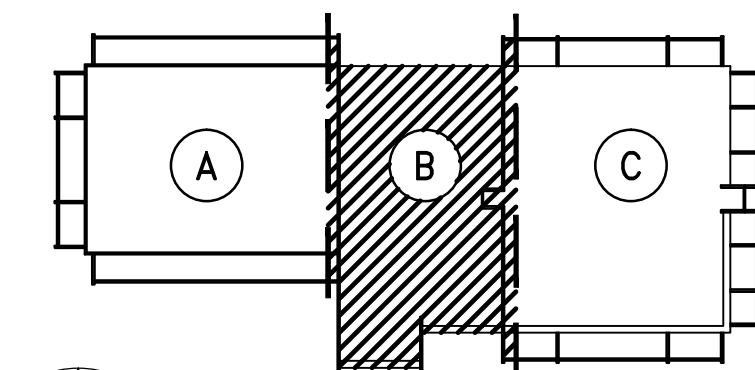
Exterior Walls:

1. Install CMU curb over existing footing below grade.
2. Patch over any areas of delaminated or missing stucco cladding on the CMU walls with a cementitious parge coat to provide a smooth backup wall substrate. Repair all spalled or damaged CMU per structural drawings.
3. Replace the existing downleaders in the CMU wing walls with new downleaders and tie into the existing drainage assembly. Provide new downleaders in the CMU wing walls where shown on the drawings. Patch the CMU wing walls to provide a smooth substrate over the downleaders.
4. Provide new C.F.M.F. and furrings at the upper and lower soffits, and at vertical exterior wall areas where shown on the drawings. locate framing along the underside of the soffits to account for the increased exterior insulation thickness and maintain existing elevation of the soffit finish and window/door heads.
5. Provide new exterior gypsum sheathing over the upper and lower soffit framing and furrings and over framed exterior wall areas.
6. Extend existing electrical, plumbing, and mechanical fixtures and other miscellaneous components out of the wall to accommodate the increased exterior insulation thickness.
7. Provide self-adhered below-grade waterproofing membrane over the base of the existing or repaired exterior stucco on the CMU walls. extend the self-adhered membrane down the wall, over the new curb, and to the top of the existing footing.
8. Provide self-adhered air/vapor barrier membrane over the existing or repaired exterior stucco on the CMU walls. Integrate the air/vapor barrier membrane with the below-grade waterproofing and the roofing assembly to provide a continuous air/vapor barrier system.
9. Extend air/vapor barrier membrane past the soffit cladding and to the top of the CMU wall at all lower soffits below steep-sloped roofs. Provide metal lath and spray foam insulation between the top of the cmu wall and the underside of the steep slope roof sheathing, around the sloped beams, to form a continuous air barrier as shown on the drawings.
10. Wrap the air/vapor barrier membrane around lower soffits not below steep-sloped roofing and around the upper soffits, where shown on the drawings. Integrate the air/vapor barrier membrane with the adjacent self-adhered membrane on the vertical exterior walls and steep-slope roofing assemblies as shown on the drawings to maintain a continuous air, vapor, and water barrier.
11. Install perimeter flashings at all exterior door and window openings as shown on the drawings.
12. Provide new aluminum-framed exterior storefront and entrances, curtain walls, and thermally broken hollow metal doors. integrate the fenestration components with the self-adhered membrane on the exterior walls.
13. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
14. Provide masonry veneer anchors around the bottom perimeter of the first floor walls.
15. Install rigid insulation in the exterior wall cavity between and around the masonry veneer anchors.
16. Provide brick masonry with dedicated through-wall flashing, weeps, mortar net, end dams, and cast stone water table around the base of the exterior walls as shown on the drawings.
17. Provide EIFS assembly with metal lath and insulation thicknesses as shown in the drawings on the remaining exterior walls above the cast stone water table, around the upper and lower soffits, and other locations shown on the drawings. Detail EIFS assembly around exterior wall penetrations and other components.
18. Install new metal roof access ladders extending from the low roof up to the pool and gym roofs. Coordinate ladder dimensions with the new cladding thickness. Integrate ladder supports with the new self-adhered membrane as shown in the drawings; do not penetrate the new or existing roofing assemblies with the ladder.
19. Provide new treated wood-framed trellises. See structural drawings for new structural anchorage configuration.
20. Install new metal copings and gravel edge stops at top of all walls and roof perimeters where shown on the drawings; coordinate this work with the low-slope and steep-slope roofing installation.
21. Reinstall the exterior light fixtures, security cameras, fans, louvers and vents, fire alarm and fire department connection, access hatches, electrical conduits, and other miscellaneous components over the EIFS unless otherwise described in the drawings.
22. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.

LEGEND

- ### - DOOR DESIGNATION
- ↖ - DOOR SWING DIRECTION
- CW-# - CURTAIN WALL DESIGNATION
- - CURTAIN WALL
- L-# - LOUVER DESIGNATION
- - METAL LOUVER
- ▨ - EX. CMU WALLS
- - DOWN LEADER
- ▨ - APPROXIMATE EXTENT OF NEW CLADDING ASSEMBLIES
- E.J. - EXPANSION JOINT THROUGH BRICK CLADDING

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.



KEY PLAN

SIMPSON GUMPERTZ & HEGER

Engineering of Structures and Building Enclosures

Simpson Gumpertz & Heger Inc.
 1828 L Street NW, Suite 950
 Washington, DC 20036
 main: 202.239.4199 fax: 202.239.4198
 www.sgh.com

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 Chicago
 Los Angeles
 New York
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 Washington, DC

Door Hardware Consultant

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Security Consultant

GHD, Inc.
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 Chantilly, VA 20151
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Forella Group, LLC.
 9495 Silver King Ct., Suite A
 Fairfax, VA 22031
 703.560.2200

Electrical Consultant

bkm, Inc.
 1416 Clarkview Road
 Baltimore, MD 21209
 410.323.0600

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| Δ | 02/22/16 | Permit Response Set | |
| Δ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
 EXTERIOR RENOVATION
 MONTGOMERY COLLEGE
 GERMANTOWN CAMPUS
 20200 OBSERVATION DRIVE
 GERMANTOWN, MD 20876**

Project

PARTIAL FIRST FLOOR PLAN

Drawing Title

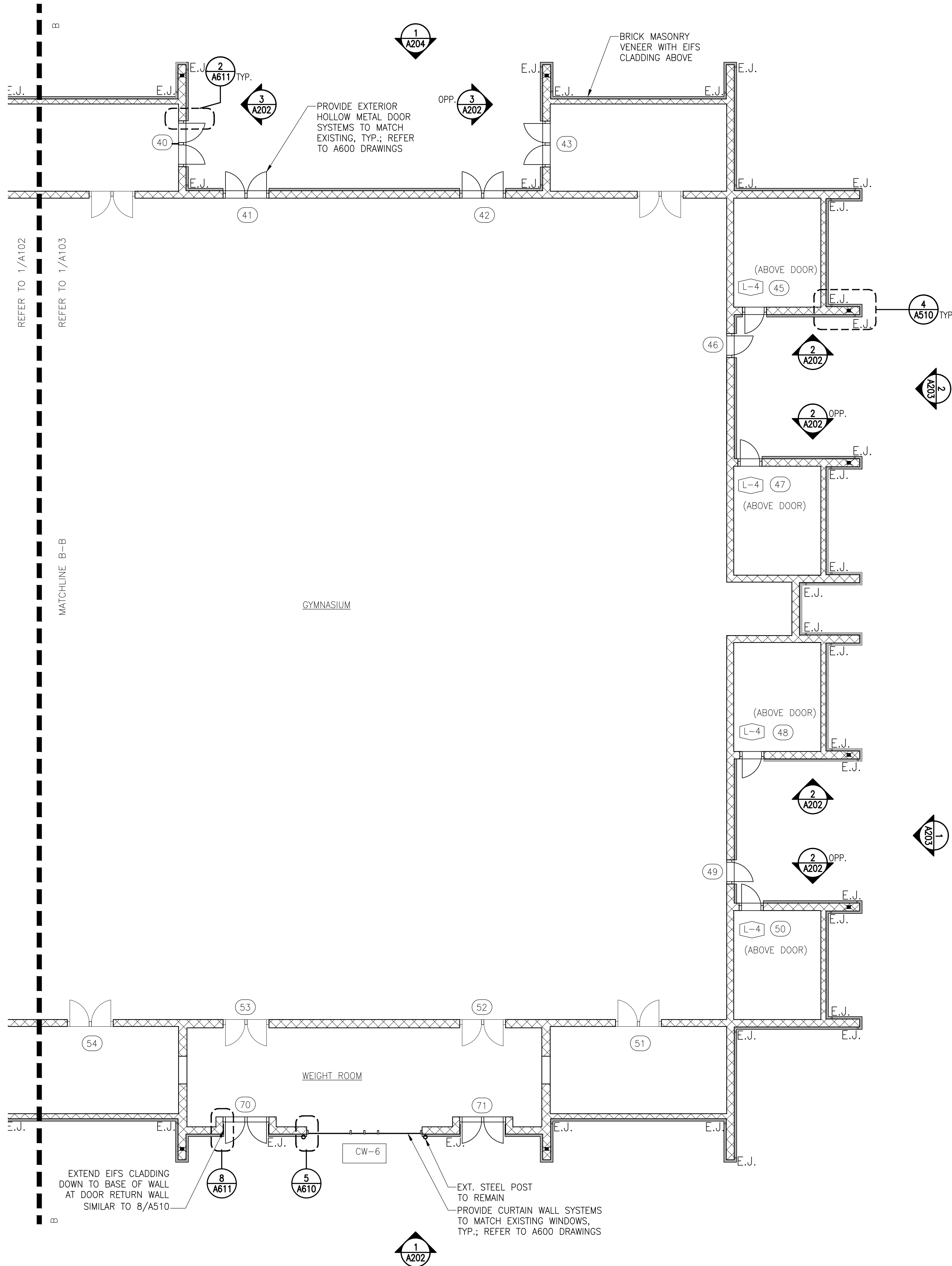
| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS NOTED |

Drawing No.

A102

Seal

PERMIT RESPONSE SET



- GENERAL SCOPE OF WORK THIS DRAWING**
- Exterior Walls:
1. Install CMU curb over existing footing below grade.
 2. Patch over any areas of delaminated or missing stucco cladding on the CMU walls with a cementitious parge coat to provide a smooth backup wall substrate. Repair all spalled or damaged CMU per structural drawings.
 3. Replace the existing downleaders in the CMU wing walls with new downleaders and tie into the existing drainage assembly. Provide new downleaders in the CMU wing walls where shown on the drawings. Patch the CMU wing walls to provide a smooth substrate over the downleaders.
 4. Provide new CFMF and furrings at the upper and lower soffits, and at vertical exterior wall areas where shown on the drawings. locate framing along the underside of the soffits to account for the increased exterior insulation thickness and maintain existing elevation of the soffit finish and window/door heads.
 5. Provide new exterior gypsum sheathing over the upper and lower soffit framing and furrings and over framed exterior wall areas.
 6. Extend existing electrical, plumbing, and mechanical fixtures and other miscellaneous components out of the wall to accommodate the increased exterior insulation thickness.
 7. Provide self-adhered below-grade waterproofing membrane over the base of the existing or repaired exterior stucco on the CMU walls. extend the self-adhered membrane down the wall, over the new curb, and to the top of the existing footing.
 8. Provide self-adhered air/vapor barrier membrane over the existing or repaired exterior stucco on the CMU walls. Integrate the air/vapor barrier membrane with the below-grade waterproofing and the roofing assembly to provide a continuous air/vapor barrier system.
 9. Extend air/vapor barrier membrane past the soffit cladding and to the top of the CMU wall at all lower soffits below steep-sloped roofs. Provide metal lath and spray foam insulation between the top of the cmu wall and the underside of the steep slope roof sheathing, around the sloped beams, to form a continuous air barrier as shown on the drawings.
 10. Wrap the air/vapor barrier membrane around lower soffits not below steep-sloped roofing and around the upper soffits, where shown on the drawings. Integrate the air/vapor barrier membrane with the adjacent self-adhered membrane on the vertical exterior walls and steep-slope roofing assemblies as shown on the drawings to maintain a continuous air, vapor, and water barrier.
 11. Install perimeter flashings at all exterior door and window openings as shown on the drawings.
 12. Provide new aluminum-framed exterior storefront and entrances, curtain walls, and thermally broken hollow metal doors. integrate the fenestration components with the self-adhered membrane on the exterior walls.
 13. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.
 14. Provide masonry veneer anchors around the bottom perimeter of the first floor walls.
 15. Install rigid insulation in the exterior wall cavity between and around the masonry veneer anchors.
 16. Provide brick masonry with dedicated through-wall flashing, weeps, mortar net, end dams, and cast stone water table around the base of the exterior walls as shown on the drawings.
 17. Provide EIFS assembly with metal lath and insulation thicknesses as shown in the drawings on the remaining exterior walls above the stone coping, around the upper and lower soffits, and other locations shown on the drawings. Detail EIFS assembly around exterior wall penetrations and other components.
 18. Install new metal roof access ladders extending from the low roof up to the pool and gym roofs. Coordinate ladder dimensions with the new cladding thickness. Integrate ladder supports with the new self-adhered membrane as shown in the drawings; do not penetrate the new or existing roofing assemblies with the ladder.
 19. Provide new treated wood-framed trellises. See structural drawings for new structural anchorage configuration.
 20. Install new metal copings and gravel edge steps at top of all walls and roof perimeters where shown on the drawings; coordinate this work with the low-slope and steep-slope roofing installation.
 21. Reinstall the exterior light fixtures, security cameras, fans, louvers and vents, fire alarm and fire department connection, access hatches, electrical conduits, and other miscellaneous components over the EIFS unless otherwise described in the drawings.
 22. Openings at removed exterior doors serving as exit doors must be maintained for appropriate egress; replacement doors must have appropriate panic hardware in accordance with IBC Section 1010.1.9.9 and Section 1010.1.10, as shown on A600.

1 FIRST FLOOR PLAN - AREA C
 NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
 1/8" = 1'-0"

LEGEND

- ## - DOOR DESIGNATION
- ↷ - DOOR SWING DIRECTION
- CW-# - CURTAIN WALL DESIGNATION
- - CURTAIN WALL
- L-4 - LOUVER DESIGNATION
- ▨ - METAL LOUVER
- ▩ - EX. CMU WALLS
- ⚡ - DOWN LEADER
- ▭ - APPROXIMATE EXTENT OF NEW CLADDING ASSEMBLIES
- E.J. - EXPANSION JOINT THROUGH BRICK CLADDING

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

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 703.560.2200

Electrical Consultant: **bkm, Inc.**
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 Baltimore, MD 21209
 410.323.0600

PERMIT RESPONSE SET

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15484 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| 1 | 02/22/16 | Permit Response Set | |
| 2 | 01/22/16 | Bid Set | |
| 3 | 11/20/15 | Pricing/Permit Set | |
| 4 | 08/28/15 | 100% Design Development | |

PHYSICAL EDUCATION BLDG EXTERIOR RENOVATION MONTGOMERY COLLEGE GERMANTOWN CAMPUS
 20200 OBSERVATION DRIVE GERMANTOWN, MD 20876

Project

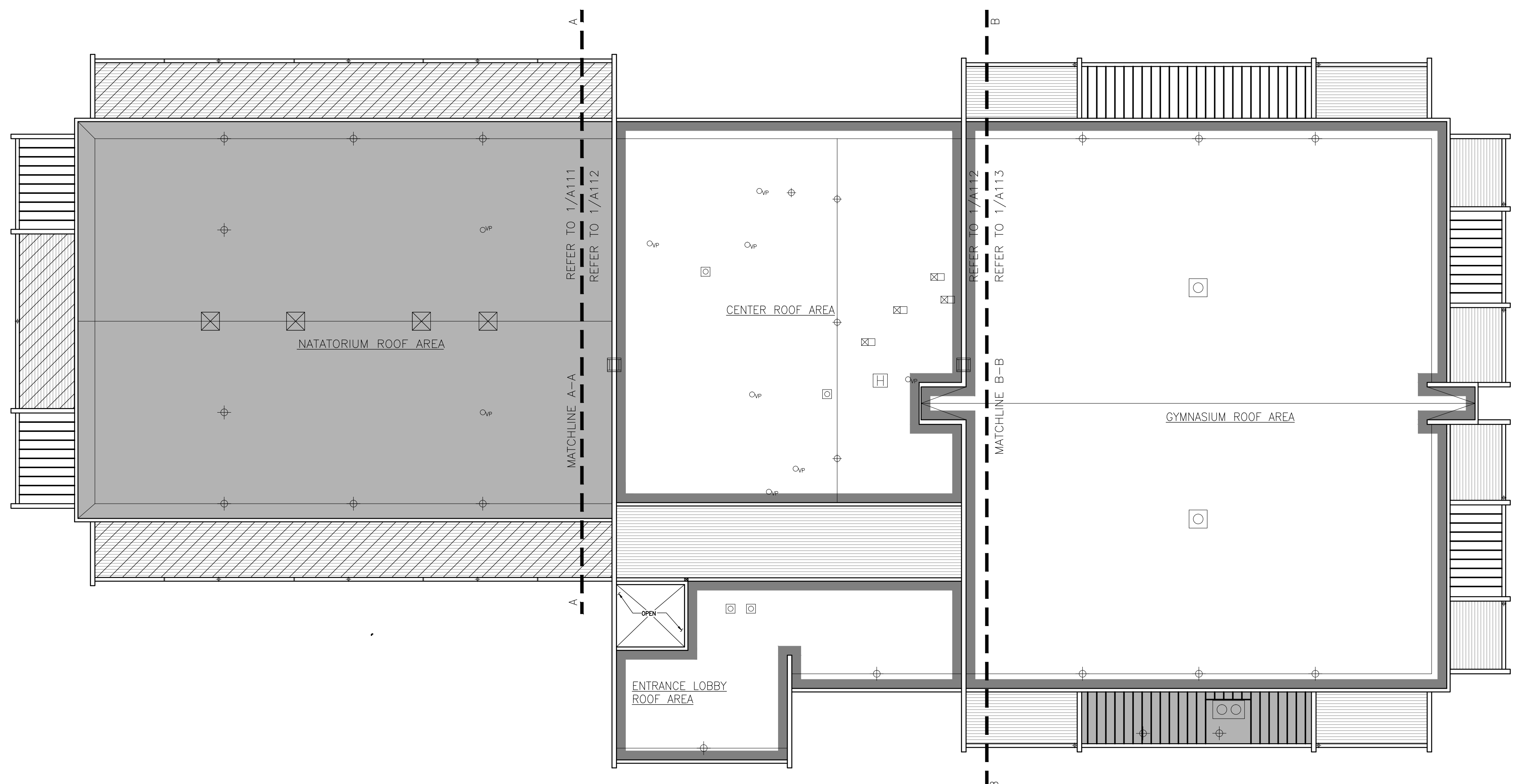
PARTIAL FIRST FLOOR PLAN

Drawing Title

| | | |
|-----------------------|--------------|----------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS NOTED |

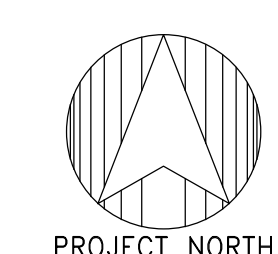
Drawing No. **A103**

Seal



1 ROOF PLAN - OVERALL
NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY

1/16" = 1'-0"



LEGEND

- EXTENT OF NATATORIUM LOW-SLOPE ROOFING REPLACEMENT; REFER TO 1/A530
- EXTENT OF LOW-SLOPE ROOFING, INSULATION, AND GRAVEL STOP REPLACEMENT; REFER TO 6/A530
- EXTENT OF STEEP-SLOPE ROOFING REPLACEMENT; REFER TO A531
- EXTENT OF CFMF. BEAM REPLACEMENT AT STEEP-SLOPE ROOFING; ASSUME 20% FOR FULL BEAM REPLACEMENT
- EXTENT OF WOOD TRELLIS; REFER TO STRUCTURAL DRAWINGS

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| | 08/28/15 | 100% Design Development | |

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GERMANTOWN, MD 20876

Project

OVERALL ROOF PLAN

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS NOTED |

Drawing No.

A110

Seal

PERMIT RESPONSE SET

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LICENSE NO. 15484
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PERMIT RESPONSE SET

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|-----|----------|-------------------------|----|
| 1 | 02/22/16 | Permit Response Set | |
| 2 | 01/22/16 | Bid Set | |
| 3 | 11/20/15 | Pricing/Permit Set | |
| 4 | 08/28/15 | 100% Design Development | |

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20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

PARTIAL ROOF PLAN

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS SHOWN |

Drawing No.
A111

GENERAL SCOPE OF WORK SHOWN ON THIS DRAWING:

Note: Coordinate this work with the surrounding work, related trades, and miscellaneous mechanical, electrical, and plumbing work required in these documents.

Natorium Low-Slope Roof:

1. Replace in-kind deteriorated portions of the existing wood decking. Assume 520 SF (Approximately 5%) of the Natatorium roof deck will require replacement.
2. Provide new blocking around the roof perimeter to support the new roofing assembly.
3. Provide new roofing framing and sheathing over existing HVAC curbs and openings; refer to Structural Drawings.
4. Install new roof drains with extension flange to elevate drain bowl with new roof surface.
5. Provide a self-adhered membrane vapor retarder continuously over the existing roof deck; extend up parapets, penetrations and other curbs. Integrate with typical roof drains, penetrations, and perimeter conditions to form an air seal.
6. Provide multiple layers of adhered rigid insulation; build up insulation thickness to obtain R-30 (6 in. thick). Provide additional tapered insulation where required with slope to drain toward internal drains (1/4 in. per ft min.).
7. Provide 1/2 in. thick cover board, set in adhesive.
8. Provide a 3 ply adhered modified bitumen roofing assembly with a granular cap sheet and base flashings. Integrate with typical roof drains, penetrations, and perimeter conditions to form continuous roofing system and water tight barrier.
9. Provide new metal coping and gravel stop around roof perimeter. Provide new metal counterflashings and penetration flashings.
10. Provide walkpads where shown on the drawings.

Steep-Slope Roofs

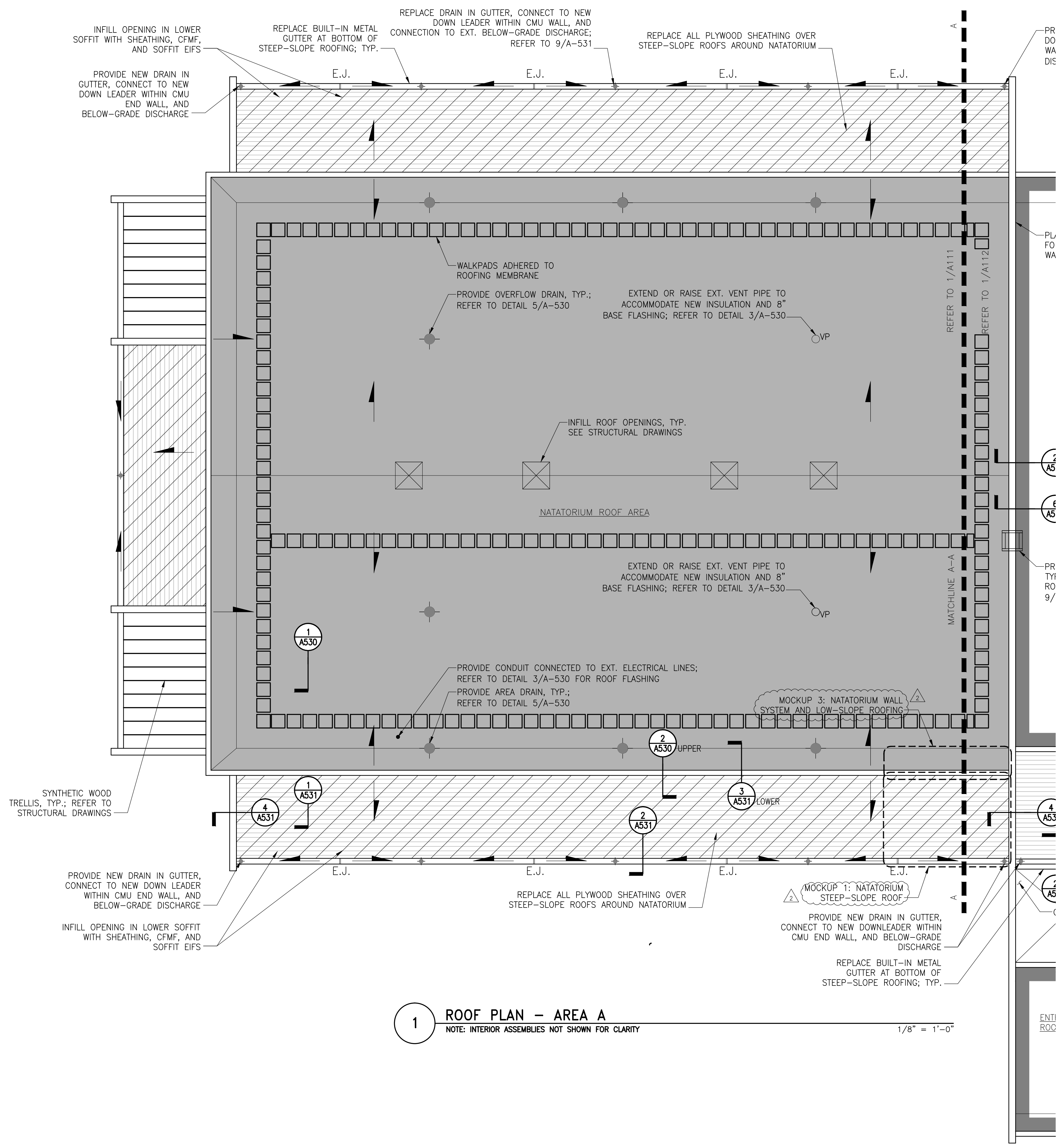
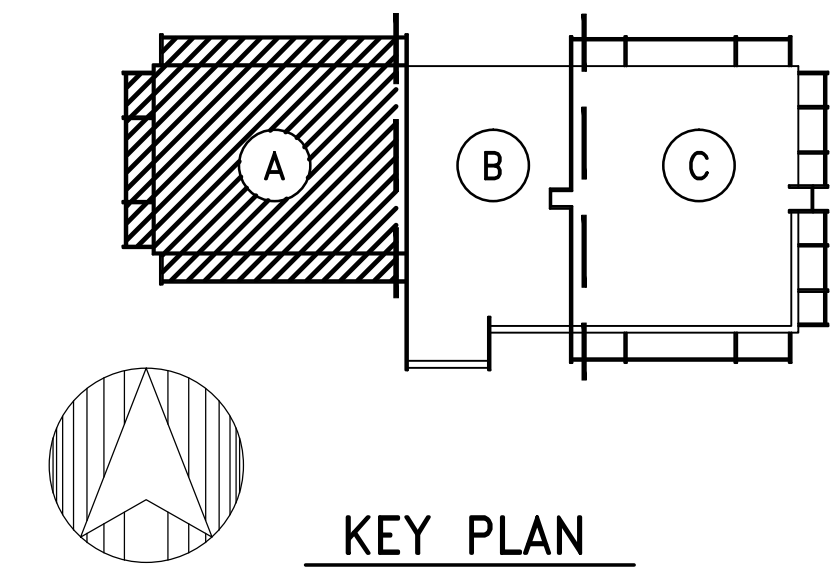
1. Replace plywood roof sheathing. Around the Natatorium, replace the bottom section of cold-formed metal framing (CFMF) over the lower soffit at all locations (see Structural Drawings). Assume additional ext. beams will be deteriorated and require complete replacement at 20% of the steep-sloped roof areas in addition to the lower soffits. See Structural Drawings for additional information.
2. Replace or provide new unfaced fiberglass batt insulation between the existing CFMF roof rafters (min R-19) where structural repairs are necessary.
3. Provide new self-adhered membrane underlayment over the plywood decking and in the built-in gutter. Integrate with the surrounding parapets, built-in gutter drain and downleader, backup wall air/vapor barrier on rising walls, and perimeter coping to form a watertight air and vapor barrier.
4. Install a structural insulated panel (SIP) with 4 in. minimum insulation laminated to 5/8 in. thick plywood sheathing (R-20 minimum). Mechanically attach SIP panels to the plywood decking over the CFMF beams. Install low-rise closed cell spray foam where required at edges, joints, and voids in the SIP panels to provide a continuous thermal barrier.
5. Provide self-adhered underlayment and one layer of 15# felt underlayment over the SIP panels; integrate self-adhered membrane and felt underlayment with new perimeter metal flashings at built-in gutter, rising walls, and copings to form a continuous watertight barrier.
6. Install new synthetic clay tiles with a minimum 3 in. head lap; provide roof tiles with width and exposure sized to match existing clay tiles in kind.

Proposed Schedule:

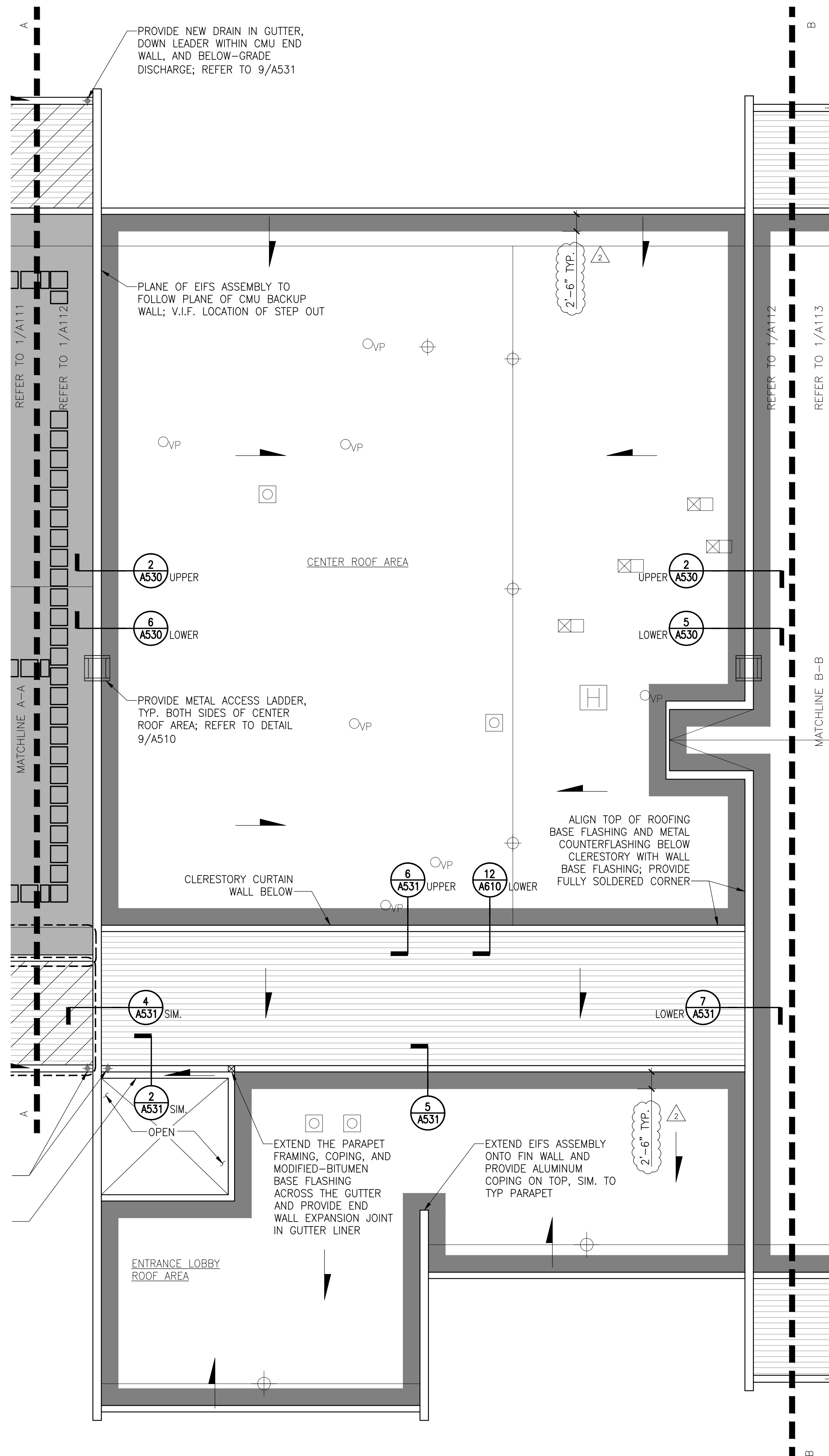
| | |
|--------------------------------|-------------------------|
| Natorium Walls | - July 2016 |
| Natorium Roof (Low-Slope) | - August 2016 |
| Natorium Roof (Steep-Slope) | - July 2016 |
| Windows | - August 2016 |
| Classroom Walls Around Windows | - August 2016 |
| Office Walls Around Windows | - August 2016 |
| Gymnasium Walls | - October/November 2016 |
| Gymnasium Roofs | - December 2016 |
| Substantial Completion | - August 2017 |

LEGEND

- EXTENT OF NATATORIUM LOW-SLOPE ROOFING REPLACEMENT; REFER TO 1/A530
- EXTENT OF LOW-SLOPE ROOFING, INSULATION, AND GRAVEL STOP REPLACEMENT; REFER TO 6/A530
- EXTENT OF STEEP-SLOPE ROOFING REPLACEMENT; REFER TO A531
- EXTENT OF C.F.M.F. REPLACEMENT AT NATATORIUM STEEP-SLOPE ROOFING (ASSUME 20%)
- PROVIDE NEW ROOF DRAIN AND CONNECTION TO EXT. PLUMBING
- EXT. ROOF DRAIN
- EXT. ROOF HATCH
- EXT. VENT PIPE
- EXT. HVAC EQUIPMENT AND CURB; PROTECT DURING CONSTRUCTION
- ANNOTATION DENOTING ROOF SLOPE
- GUTTER EXPANSION JOINT; REFER TO 8/A530
- EXTENT OF WOOD TRELLIS; REFER TO STRUCTURAL DRAWINGS



1 ROOF PLAN - AREA A
NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
1/8" = 1'-0"



1 ROOF PLAN - AREA B
NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY

1/8" = 1'-0"

GENERAL SCOPE OF WORK SHOWN ON THIS DRAWING:

Note: Coordinate this work with the surrounding work, related trades, and miscellaneous mechanical, electrical, and plumbing work required in these documents.

- Central and Gymnasium Roof Areas:
1. Provide new blocking around the roof perimeter to support the new roofing assembly, where necessary.
 2. Provide a self-adhered membrane vapor retarder continuously over the existing roof deck; extend up parapets. Integrate with typical roof drains, penetrations, and perimeter conditions to form an air seal.
 3. Provide multiple layers of rigid insulation with 1/2 in. thick cover board on top of insulation. Set all layers in adhesive; build up insulation and cover board thickness to match existing insulation thickness with slope to drain toward internal drains (1/4 in. per ft).
 4. Provide a 3 ply adhered modified bitumen roofing assembly with a granular cap sheet and base flashings. Integrate with adjacent existing roofing assembly and perimeter conditions to form continuous roofing system and water tight barrier as shown on the Drawings.
 5. Provide new metal coping and gravel stop around roof perimeter. Provide new metal counterflashings.
 6. Provide new metal roof access ladders from the low roof up to the Natatorium and Gymnasium roofs. Anchor access ladders to the exterior wall; do not penetrate roofing membrane.

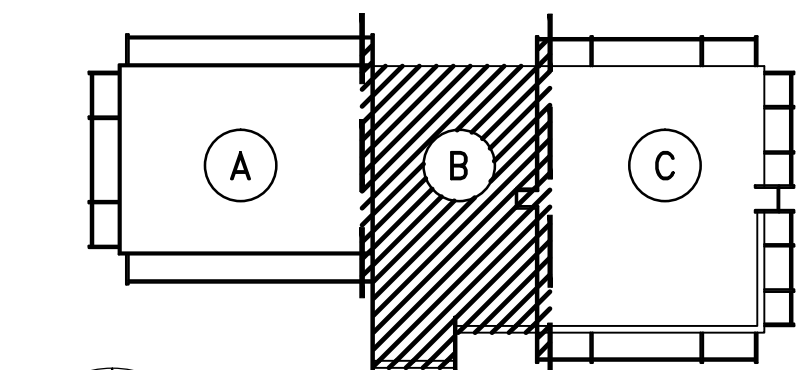
- Steep-Slope Roofs
1. Replace plywood roof sheathing. Around the Natatorium, replace the bottom section of cold-formed metal framing (CFMF) over the lower soffit at all locations (see Structural Drawings). Assume additional ext. beams will be deteriorated and require complete replacement at 20% of the steep-sloped roof areas in addition to the lower soffits. See Structural Drawings for additional information.
 2. Replace or provide new unfaced fiberglass batt insulation between the existing CFMF roof rafters (min R-19) where structural repairs are necessary.
 3. Provide new self-adhered membrane underlayment over the plywood decking and in the built-in gutter. Integrate with the surrounding parapets, built-in gutter drain and downleader, backup wall air/vapor barrier on rising walls, and perimeter coping to form a watertight air and vapor barrier.
 4. Install a structural insulated panel (SIP) with 4 in. minimum insulation laminated to 5/8 in. thick plywood sheathing (R-20 minimum). Mechanically attach SIP panels to the plywood decking over the CFMF beams. Install low-rise closed cell spray foam where required at edges, joints, and voids in the SIP panels to provide a continuous thermal barrier.
 5. Provide self-adhered underlayment and one layer of 15# felt underlayment over the SIP panels; integrate self-adhered and felt underlayment with new perimeter metal flashings at built-in gutter, rising walls, and copings to form a continuous watertight barrier.
 6. Install new synthetic clay tiles with a minimum 3 in. head lap; provide roof tiles with width and exposure sized to match existing clay tiles in kind.

Proposed Schedule:

| | |
|--------------------------------|-------------------------|
| Natatorium Walls | - July 2016 |
| Natatorium Roof (Low-Slope) | - August 2016 |
| Natatorium Roof (Steep-Slope) | - July 2016 |
| Windows | - August 2016 |
| Classroom Walls Around Windows | - August 2016 |
| Office Walls Around Windows | - August 2016 |
| Gymnasium Walls | - October/November 2016 |
| Gymnasium Roofs | - December 2016 |
| Substantial Completion | - August 2017 |

LEGEND

- - EXTENT OF NATATORIUM LOW-SLOPE ROOFING REPLACEMENT; REFER TO 1/A530
- - EXTENT OF LOW-SLOPE ROOFING, INSULATION, AND GRAVEL STOP REPLACEMENT; REFER TO 6/A530
- - EXTENT OF STEEP-SLOPE ROOFING REPLACEMENT; REFER TO A531
- - EXTENT OF C.F.M.F. REPLACEMENT AT NATATORIUM STEEP-SLOPE ROOFING (ASSUME 20%)
- - PROVIDE NEW ROOF DRAIN AND CONNECTION TO EXT. PLUMBING
- ⊕ - EXT. ROOF DRAIN
- ⊕ - EXT. ROOF HATCH
- ⊕ - EXT. VENT PIPE
- ⊕ - EXT. HVAC EQUIPMENT AND CURB; PROTECT DURING CONSTRUCTION
- ▲ - ANNOTATION DENOTING ROOF SLOPE
- ┆ - GUTTER EXPANSION JOINT; REFER TO 8/A530
- ▨ - EXTENT OF WOOD TRELLIS; REFER TO STRUCTURAL DRAWINGS



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| 08/28/15 | | 100% Design Development | |

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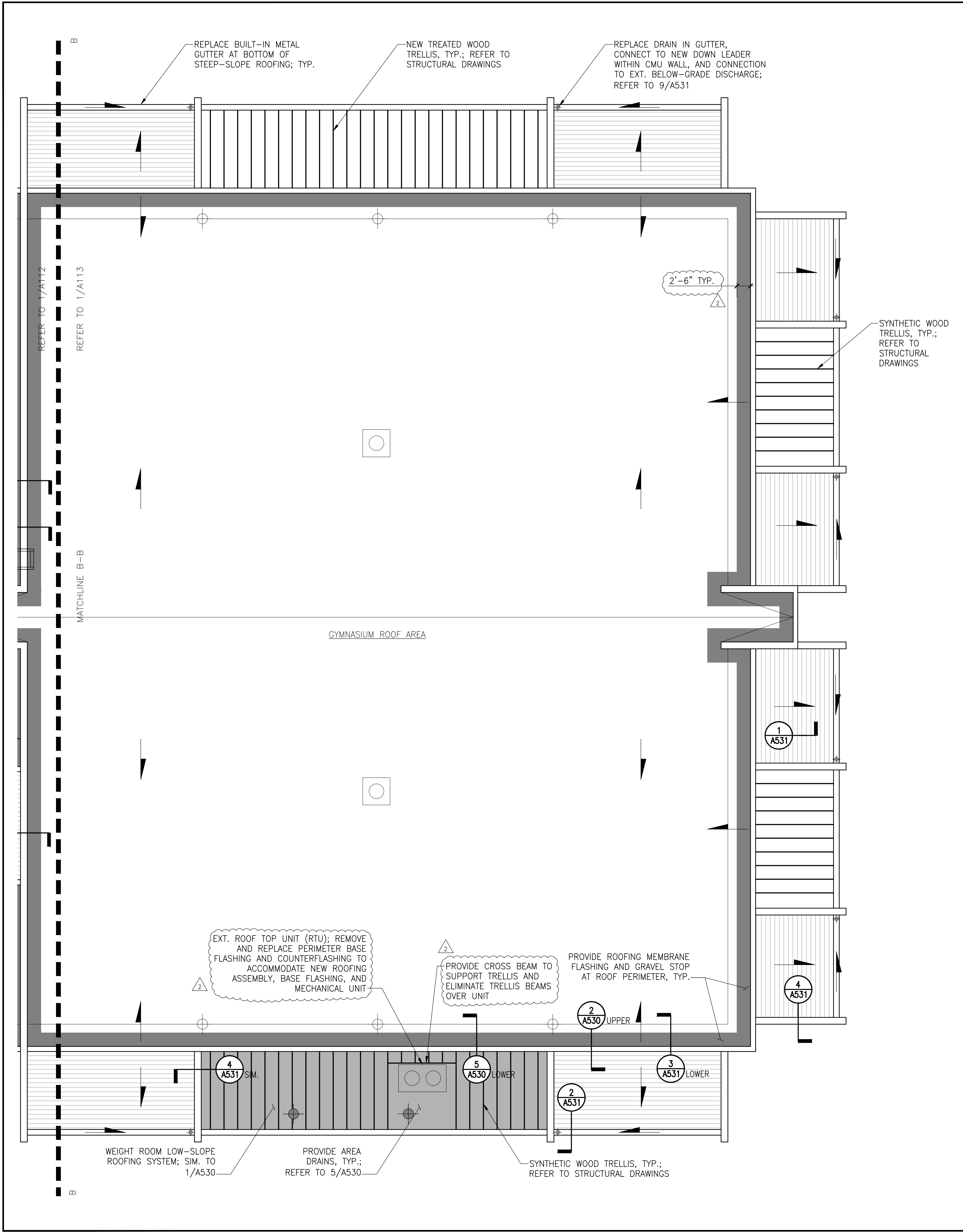
PARTIAL ROOF PLAN

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS SHOWN |

Drawing No.
A112

PERMIT RESPONSE SET



GENERAL SCOPE OF WORK SHOWN ON THIS DRAWING:

Note: Coordinate this work with the surrounding work, related trades, and miscellaneous mechanical, electrical, and plumbing work required in these documents.

Central and Gymnasium Roof Areas:

- Provide new blocking around the roof perimeter to support the new roofing assembly, where necessary.
- Provide a self-adhered membrane vapor retarder continuously over the existing roof deck; extend up parapets. Integrate with typical roof drains, penetrations, and perimeter conditions to form an air seal.
- Provide multiple layers of rigid insulation with 1/2 in. thick cover board on top of insulation. Set all layers in adhesive; build up insulation and cover board thickness to match existing insulation thickness with slope to drain toward internal drains (1/4 in. per ft).
- Provide a 3 ply adhered modified bitumen roofing assembly with a granular cap sheet and base flashings. Integrate with adjacent existing roofing assembly and perimeter conditions to form continuous roofing system and water tight barrier as shown on the Drawings.
- Provide new metal coping and gravel stop around roof perimeter. Provide new metal counterflashings.
- Provide new metal roof access ladders from the low roof up to the Natorium and Gymnasium roofs. Anchor access ladders to the exterior wall; do not penetrate roofing membrane.

Weight Room Roof:

- Replace in-kind deteriorated portions of the existing decking. Assume 50 SF of the Weight Room roof deck will require replacement.
- Provide new blocking around the roof perimeter to support the new roofing assembly.
- Install new roof drains with extension flange to elevate drain bowl with new roof surface.
- Provide a self-adhered membrane vapor retarder continuously over the existing roof deck; extend up parapets, penetrations and other curbs. Integrate with typical roof drains, penetrations, and perimeter conditions to form an air seal.
- Provide multiple layers of adhered rigid insulation; build up insulation thickness to obtain R-30 (6 in. thick). Provide additional tapered insulation where required with slope to drain toward internal drains (1/4 in. per ft min.).
- Provide 1/2 in. thick cover board, set in adhesive.
- Provide a 3 ply adhered modified bitumen roofing assembly with a granular cap sheet and base flashings. Integrate with typical roof drains, penetrations, and perimeter conditions to form continuous roofing system and water tight barrier.
- Provide new metal coping and gravel stop around roof perimeter. Provide new metal counterflashings and penetration flashings.
- Existing HVAC equipment and curbs to remain in place; remove the existing metal counterflashing to accommodate new membrane base flashing. Provide new metal counterflashing over membrane base flashing.

Steep-Slope Roofs

- Replace plywood roof sheathing. Around the Natorium, replace the bottom section of cold-formed metal framing (CFMF) over the lower soffit at all locations (see Structural Drawings). Assume additional ext. beams will be deteriorated and require complete replacement at 20% of the steep-sloped roof areas in addition to the lower soffits. See Structural Drawings for additional information.
- Replace or provide new unfaced fiberglass batt insulation between the existing CFMF roof rafters (min R-19) where structural repairs are necessary.
- Provide new self-adhered membrane underlayment over the plywood decking and in the built-in gutter. Integrate with the surrounding parapets, built-in gutter drain and downleader, backup wall air/vapor barrier on rising walls, and perimeter coping to form a watertight air and vapor barrier.
- Install a structural insulated panel (SIP) with 4 in. minimum insulation laminated to 5/8 in. thick plywood sheathing (R-20 minimum). Mechanically attach SIP panels to the plywood decking over the CFMF beams. Install low-rise closed cell spray foam where required at edges, joints, and voids in the SIP panels to provide a continuous thermal barrier.
- Provide self-adhered underlayment and one layer of 15# felt underlayment over the SIP panels; integrate self-adhered and felt underlayment with new perimeter metal flashings at built-in gutter, rising walls, and copings to form a continuous watertight barrier.
- Install new synthetic clay tiles with a minimum 3 in. head lap; provide roof tiles with width and exposure sized to match existing clay tiles in kind.

Proposed Schedule:

| | |
|--------------------------------|-------------------------|
| Natorium Walls | - July 2016 |
| Natorium Roof (Low-Slope) | - August 2016 |
| Natorium Roof (Steep-Slope) | - July 2016 |
| Windows | - August 2016 |
| Classroom Walls Around Windows | - August 2016 |
| Office Walls Around Windows | - August 2016 |
| Gymnasium Walls | - October/November 2016 |
| Gymnasium Roofs | - December 2016 |
| Substantial Completion | - August 2017 |

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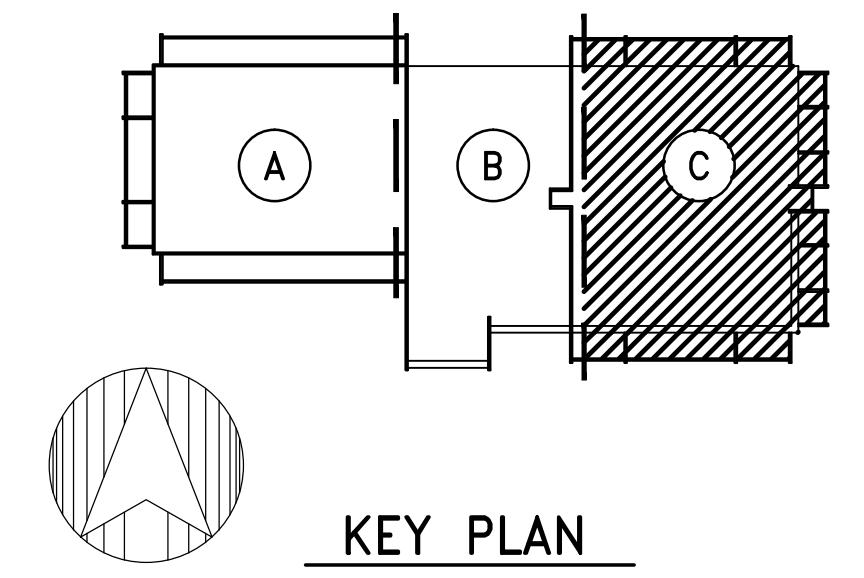
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410.323.0600

1 ROOF PLAN - AREA C
NOTE: INTERIOR ASSEMBLIES NOT SHOWN FOR CLARITY
1/8" = 1'-0"

- LEGEND**
- - EXTENT OF NATATORIUM LOW-SLOPE ROOFING REPLACEMENT; REFER TO 1/A530
 - - EXTENT OF LOW-SLOPE ROOFING, INSULATION, AND GRAVEL STOP REPLACEMENT; REFER TO 6/A530
 - - EXTENT OF STEEP-SLOPE ROOFING REPLACEMENT; REFER TO A531
 - - EXTENT OF C.F.M.F. REPLACEMENT AT NATATORIUM STEEP-SLOPE ROOFING (ASSUME 20%)
 - - PROVIDE NEW ROOF DRAIN AND CONNECTION TO EXT. PLUMBING
 - ⊕ - EXT. ROOF DRAIN
 - ⊕ - EXT. ROOF HATCH
 - ⊕ - EXT. VENT PIPE
 - ⊕ - EXT. HVAC EQUIPMENT AND CURB; PROTECT DURING CONSTRUCTION
 - ▲ - ANNOTATION DENOTING ROOF SLOPE
 - E.J.— - GUTTER EXPANSION JOINT; REFER TO 8/A530
 - ▨ - EXTENT OF WOOD TRELLIS; REFER TO STRUCTURAL DRAWINGS



PERMIT RESPONSE SET

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| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| ▲ | 02/22/16 | Permit Response Set | |
| ▲ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

PHYSICAL EDUCATION BLDG EXTERIOR RENOVATION MONTGOMERY COLLEGE GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE GERMANTOWN, MD 20876

Project

PARTIAL ROOF PLAN

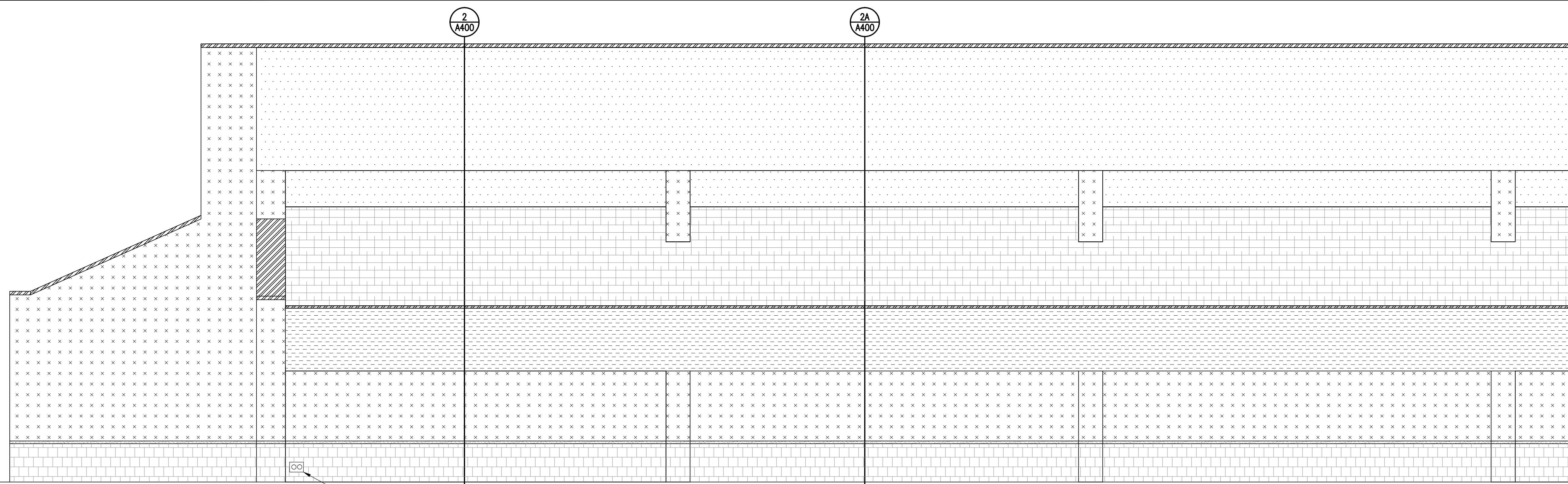
Drawing Title

| | | |
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| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR | Approved DSS | Scale AS SHOWN |

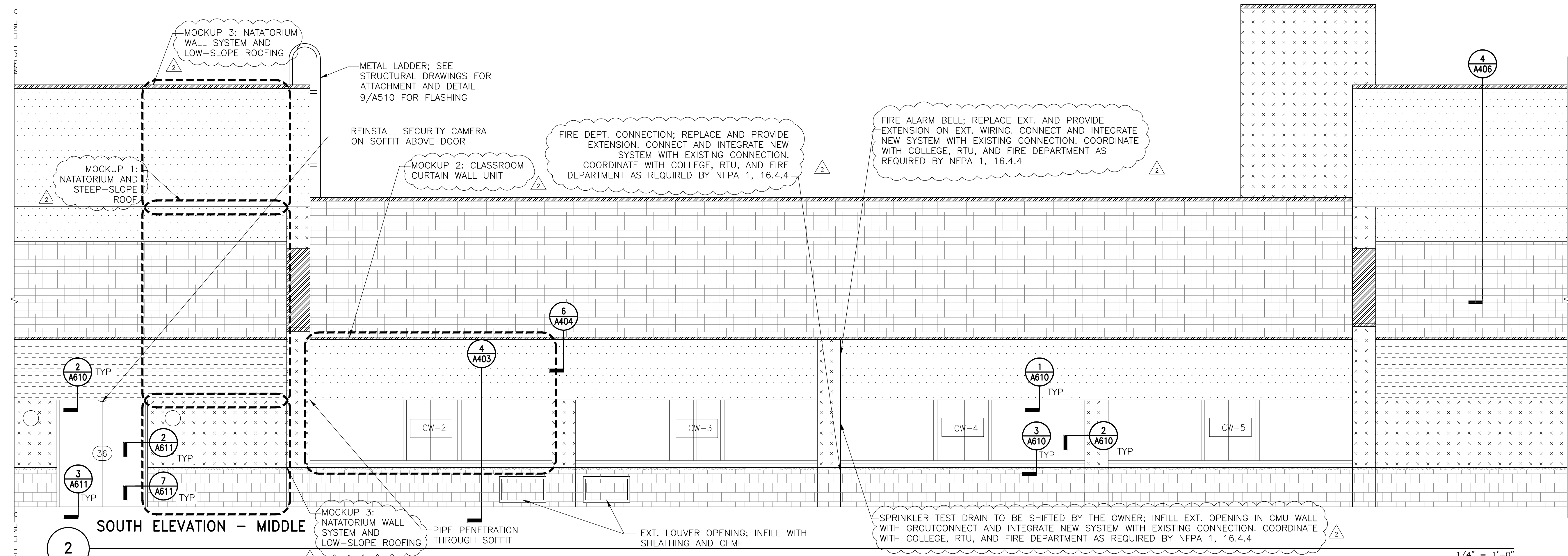
Drawing No. **A113**

Seal

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
| Cost Estimating Consultant | Forella Group, LLC. 9495 Silver King Ct., Suite A Fairfax, VA 22031 703.560.2200 |
| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 SOUTH ELEVATION - WEST END PROVIDE NEW HOSE BIB AND LONGER CONNECTION
1/4" = 1'-0"



2 SOUTH ELEVATION - MIDDLE 1/4" = 1'-0"

LEGEND:

| | | | |
|--|---|---|---|
| SOFFIT EIFS ASSEMBLY OVER NEW CFMF | BRICK MASONRY | SYNTHETIC CLAY TILE ROOF | HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION | EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM) | VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING | SCONCE; REINSTALL OR REPLACE | METAL LOUVER |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15484 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| 2 | 02/22/16 | Permit Response Set | |
| 1 | 01/22/16 | Bid Set | |
| 1 | 11/20/15 | Pricing/Permit Set | |
| 1 | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

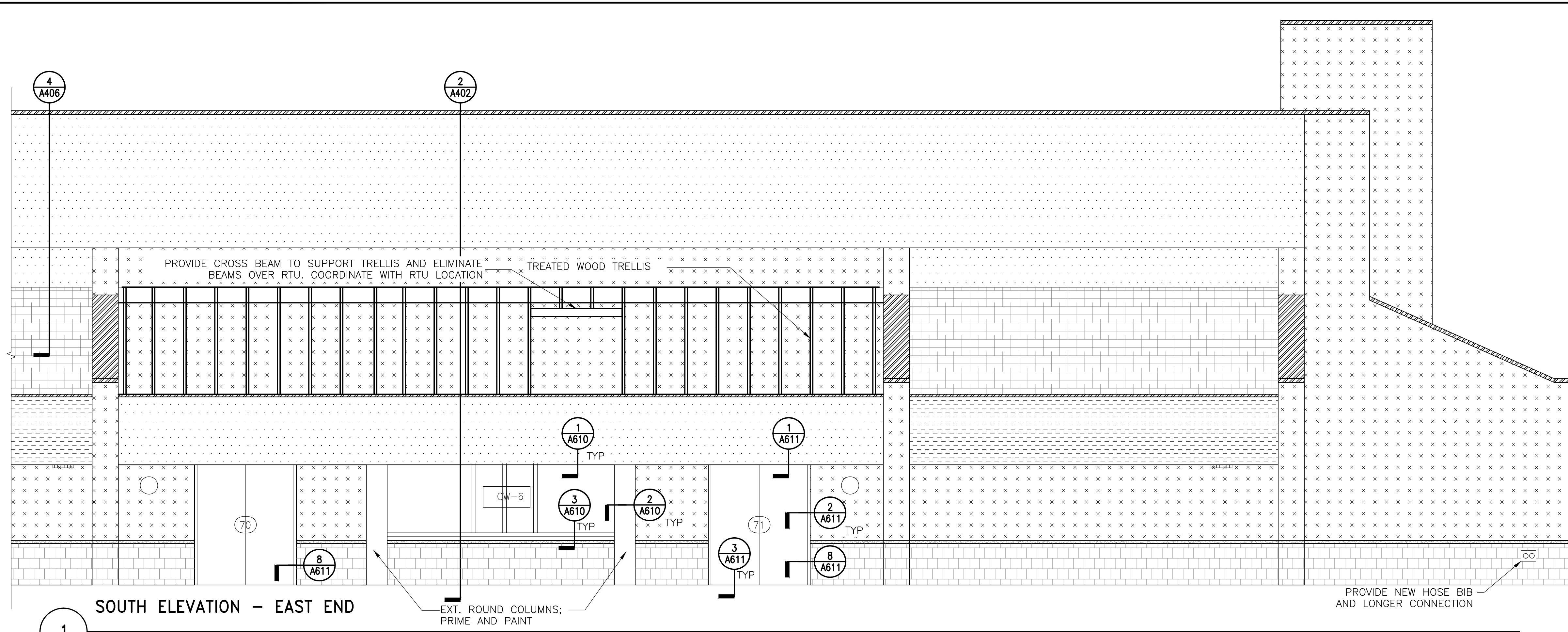
ELEVATIONS

Drawing Title

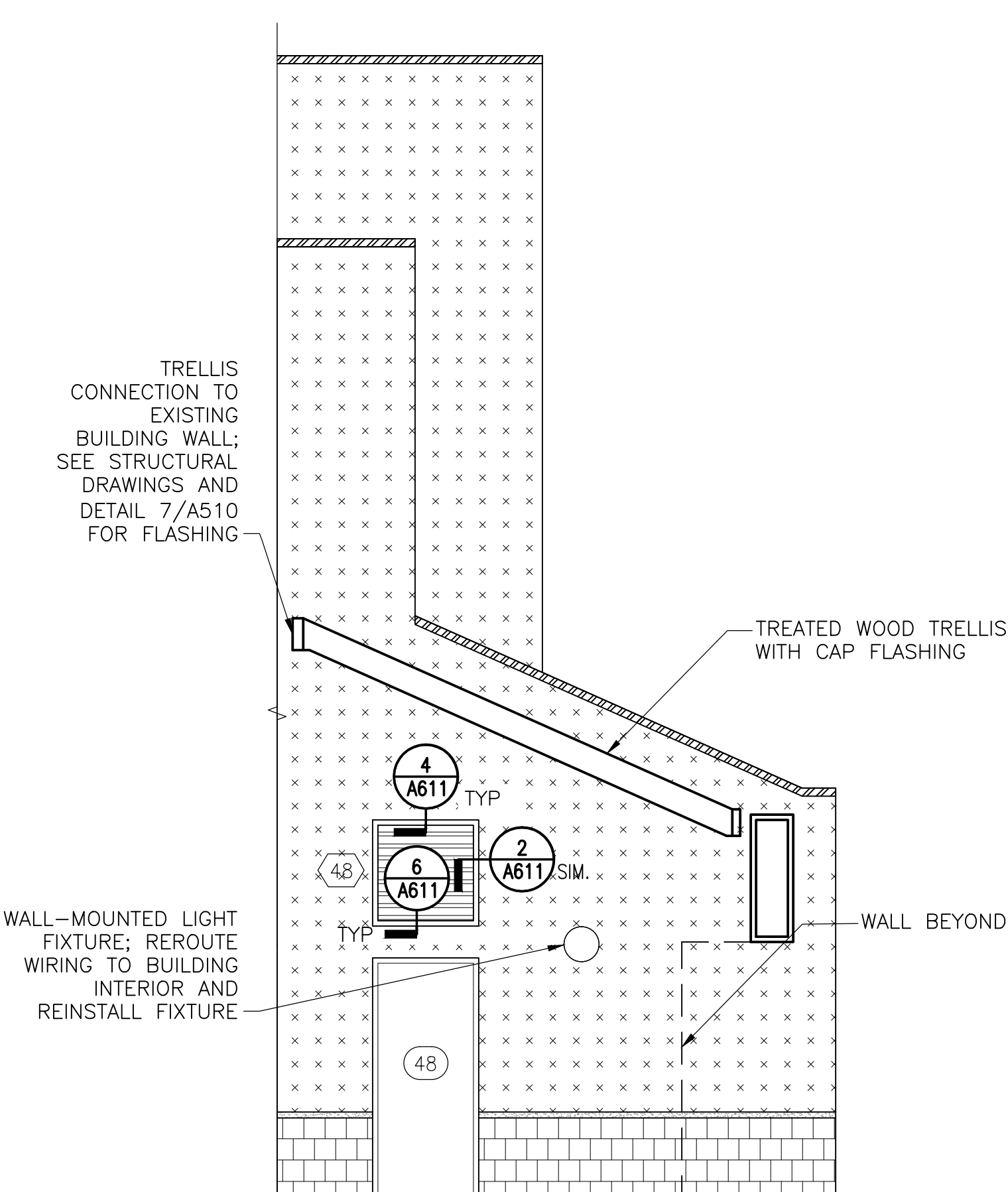
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| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |

Drawing No.
A201

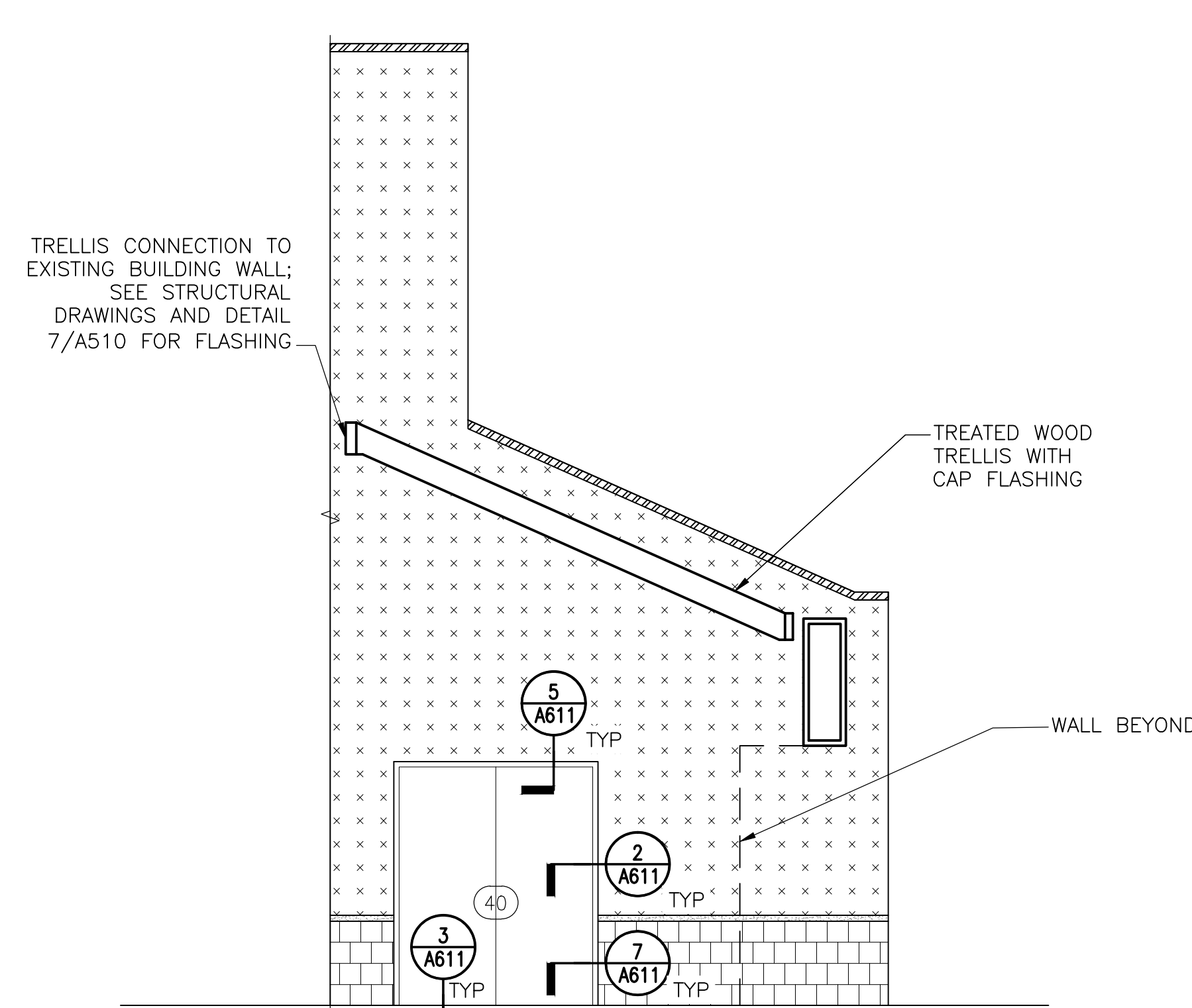
PERMIT RESPONSE SET



1 SOUTH ELEVATION - EAST END



2 PARTIAL ELEVATION AT EAST END OF GYMNASIUM



3 PARTIAL ELEVATION AT NORTH END OF GYMNASIUM

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

LEGEND:

| | | | |
|--|---|---|---|
| SOFFIT EIFS ASSEMBLY OVER NEW CFMF | BRICK MASONRY | SYNTHETIC CLAY TILE ROOF | HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION | EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM) | VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING | SCONCE; REINSTALL OR REPLACE | METAL LOUVER |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

PERMIT RESPONSE SET

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| ▲ | 02/22/16 | Permit Response Set | |
| ▲ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

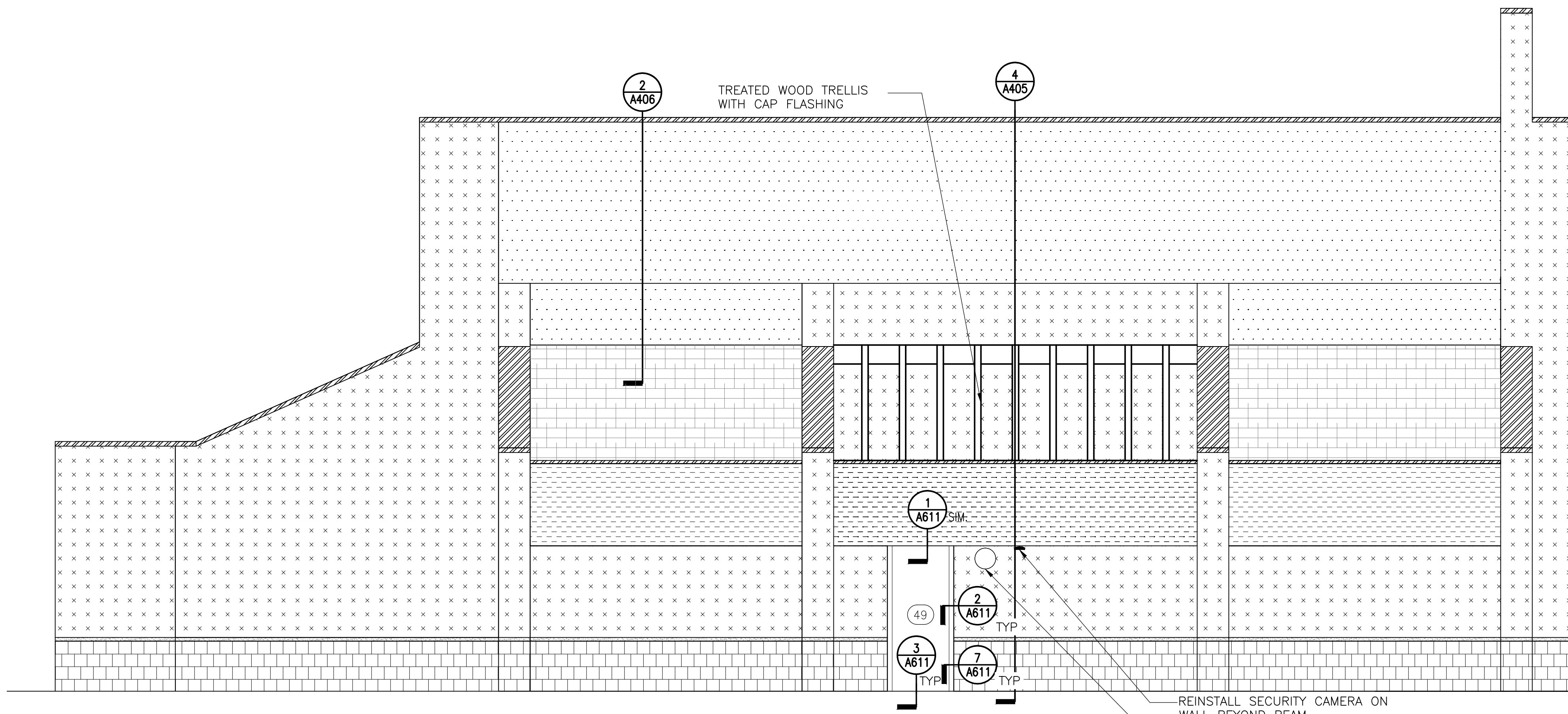
**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

ELEVATIONS

Drawing Title

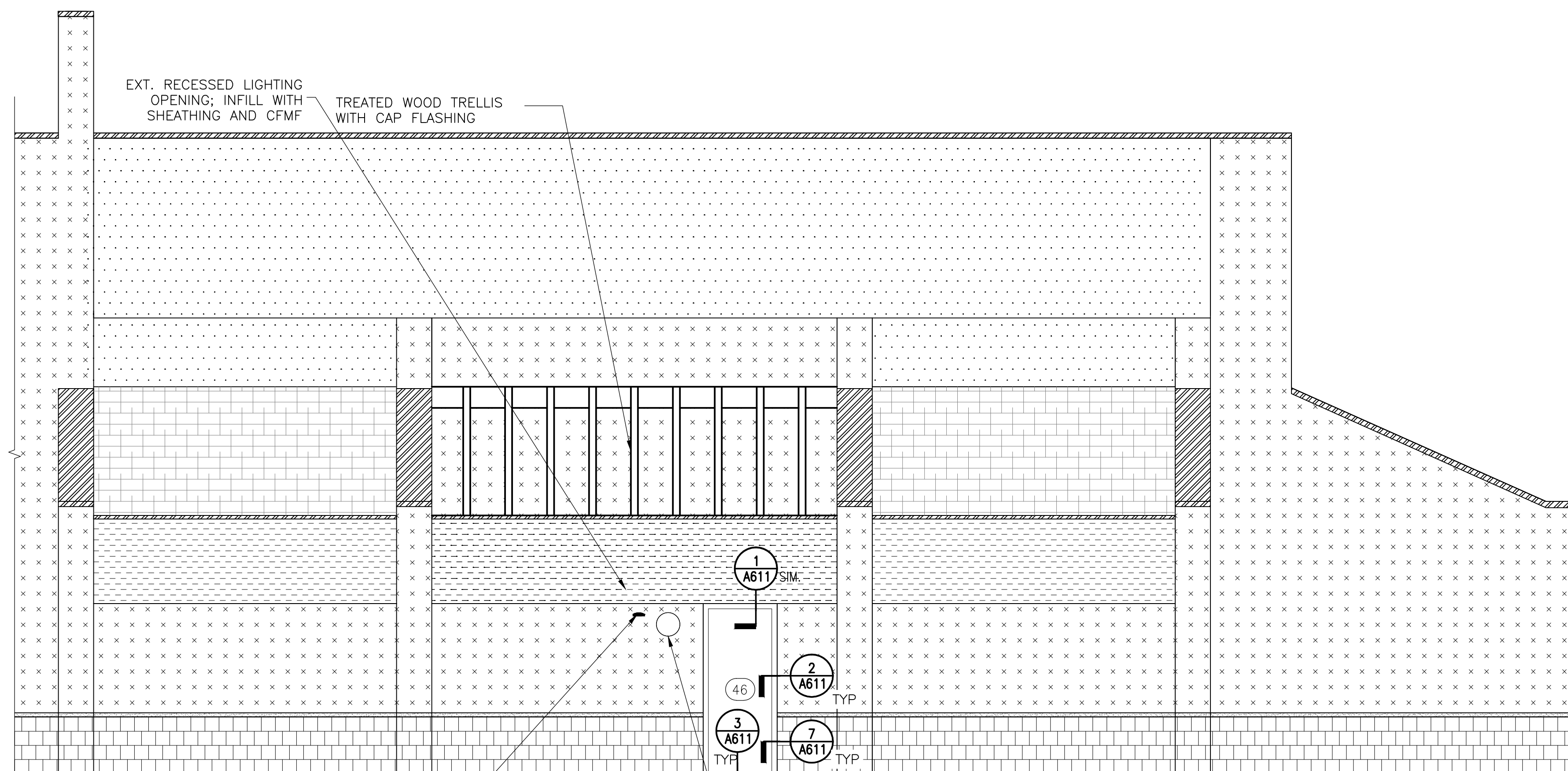
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|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. | | A202 |



EAST ELEVATION - SOUTH END

1

1/4" = 1'-0"



EAST ELEVATION - NORTH END

2

1/4" = 1'-0"

LEGEND:

- EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP
- EIFS ASSEMBLY OVER CMU BACKUP
- BRICK MASONRY
- CAST STONE BAND AT BRICK TO EIFS TRANSITION
- METAL GRAVEL STOP OR COPING
- SYNTHETIC CLAY TILE ROOF
- EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM)
- HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION
- VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE
- SCONCE; REINSTALL OR REPLACE
- METAL LOUVER

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

SIMPSON GUMPERTZ & HEGER

Engineering of Structures and Building Enclosures

Simpson Gumpertz & Heger Inc.
1828 L Street NW, Suite 950
Washington, DC 20036
Main: 202.239.4199 Fax: 202.239.4198
www.sgh.com

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Washington, DC

Door Hardware Consultant
Ebschloe Consulting Services, Inc.
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540.351.0553

Security Consultant
GHD, Inc.
14585 Avion Parkway, Suite 150
Chantilly, VA 20151
571.325.5000

Cost Estimating Consultant
Forella Group, LLC.
9495 Silver King Ct., Suite A
Fairfax, VA 22031
703.560.2200

Electrical Consultant
bkm, Inc.
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

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| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

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MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

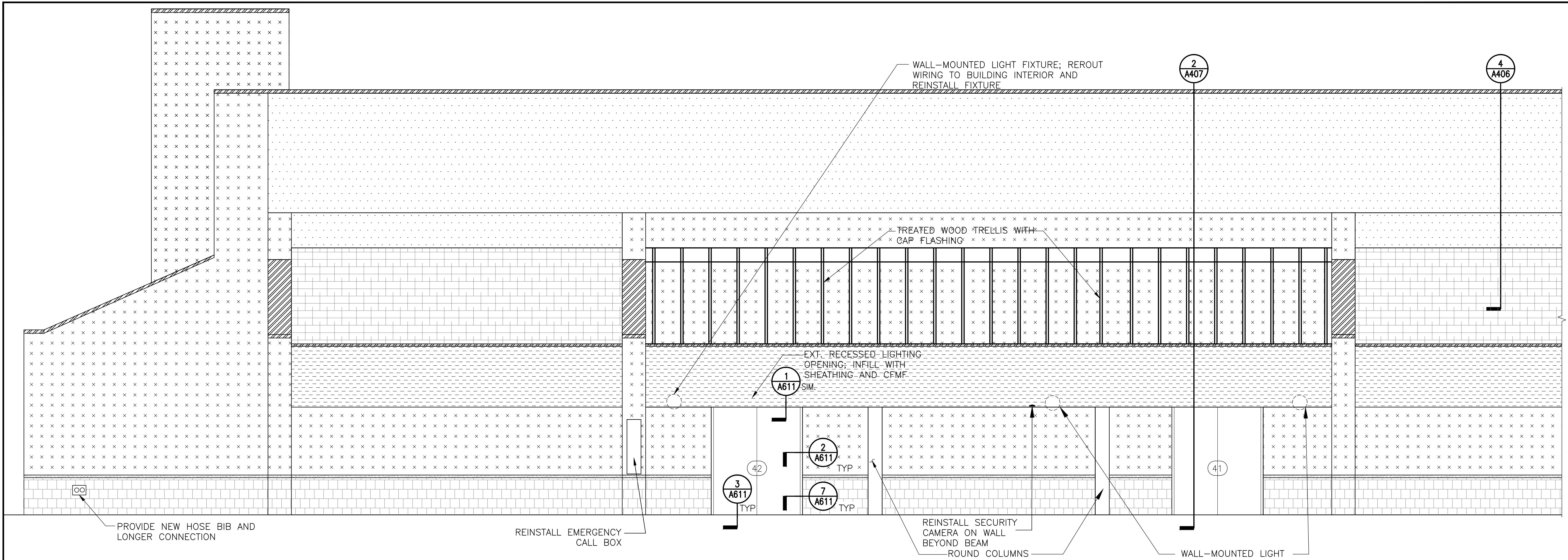
Project

ELEVATIONS

Drawing Title

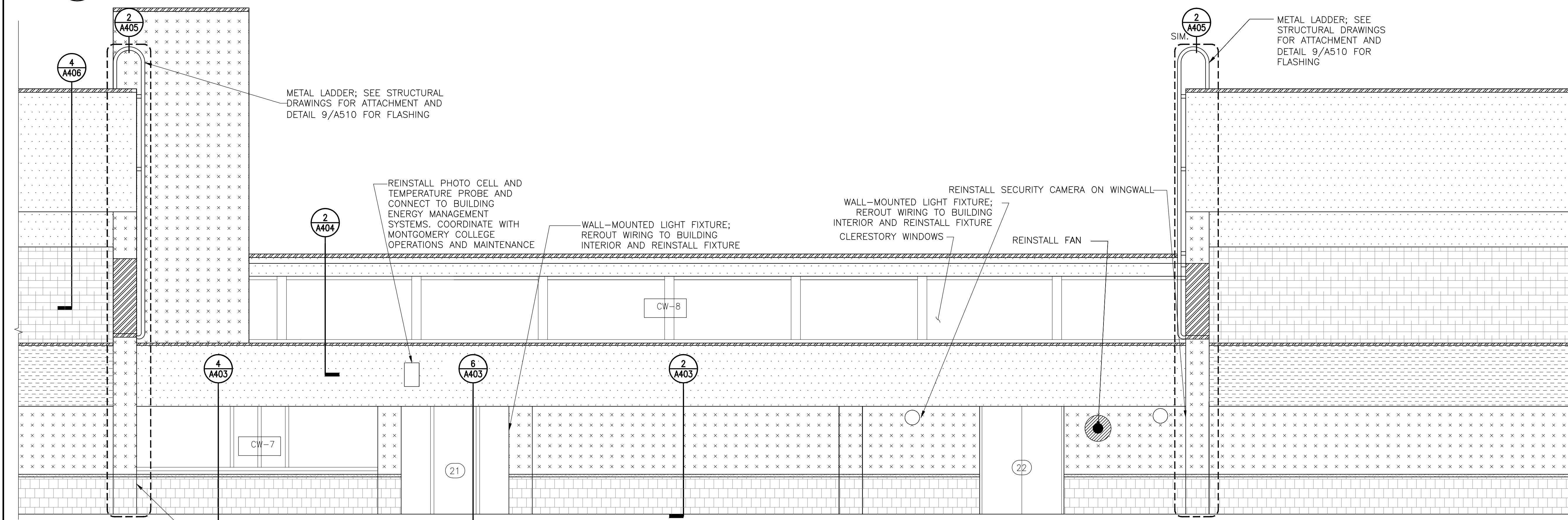
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|----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. A203 | | Seal |

PERMIT RESPONSE SET



NORTH ELEVATION - EAST END

1/4" = 1'-0"



NORTH ELEVATION - MIDDLE

1/4" = 1'-0"

LEGEND:

| | | | |
|--|---|---|---|
| SOFFIT EIFS ASSEMBLY OVER NEW CFMF | BRICK MASONRY | SYNTHETIC CLAY TILE ROOF | HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION | EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM) | VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING | SCONCE; REINSTALL OR REPLACE | METAL LOUVER |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

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Washington, DC

Door Hardware Consultant: **Ebschloe Consulting Services, Inc.**
7820 Carters Run Drive
Marshall, VA 20115
540.351.0553

Security Consultant: **GHD, Inc.**
14585 Avion Parkway, Suite 150
Chantilly, VA 20151
571.325.5000

Cost Estimating Consultant: **Forella Group, LLC.**
9495 Silver King Ct., Suite A
Fairfax, VA 22031
703.560.2200

Electrical Consultant: **bkm, Inc.**
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

PERMIT RESPONSE SET

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|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

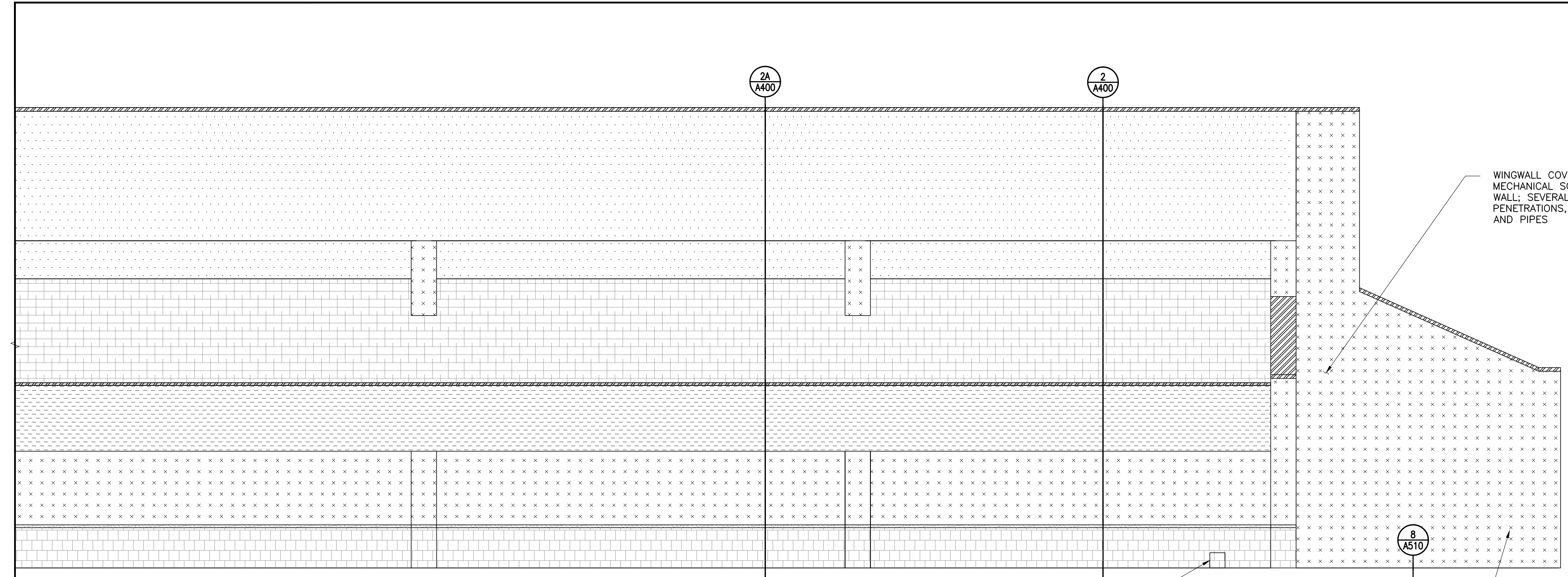
Project

ELEVATIONS

Drawing Title

| | | |
|----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. A204 | | Seal |

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
| Cost Estimating Consultant | Forella Group, LLC. 9495 Silver King Ct., Suite A Fairfax, VA 22031 703.560.2200 |
| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



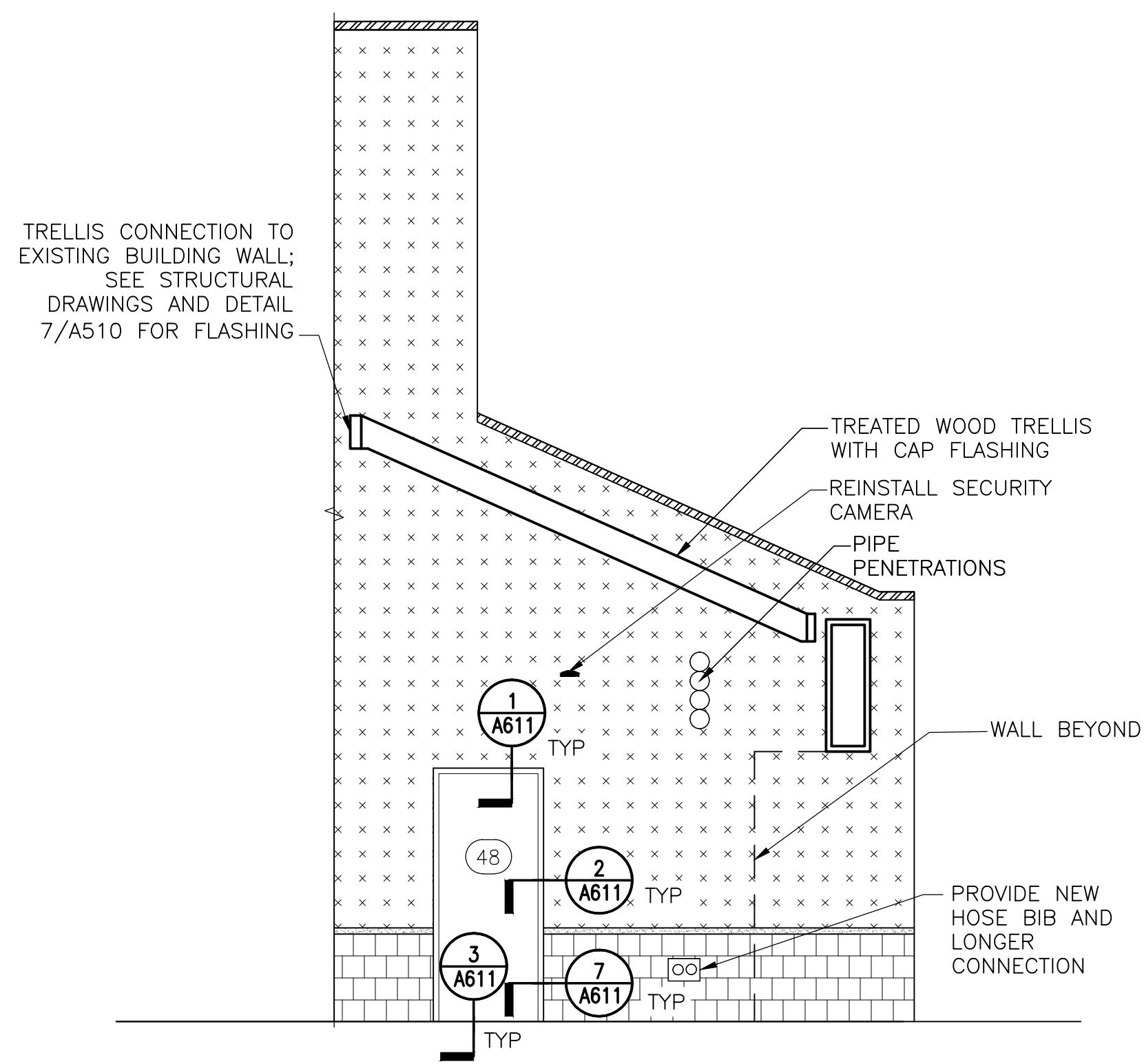
1 NORTH ELEVATION - WEST END

1/4" = 1'-0"

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LICENSE NO. 15484
EXPIRATION DATE: 08-02-2017

PERMIT RESPONSE SET

| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |



2 PARTIAL ELEVATION AT WEST END OF POOL

1/4" = 1'-0"

LEGEND:

| | | | |
|--|---|---|---|
| SOFFIT EIFS ASSEMBLY OVER NEW CFMF | BRICK MASONRY | SYNTHETIC CLAY TILE ROOF | HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION | EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM) | VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING | SCOUNCE; REINSTALL OR REPLACE | METAL LOUVER |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

ELEVATIONS

Drawing Title

| | | |
|----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. A205 | | Seal |

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PERMIT RESPONSE SET

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| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS**
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

Project

ELEVATIONS

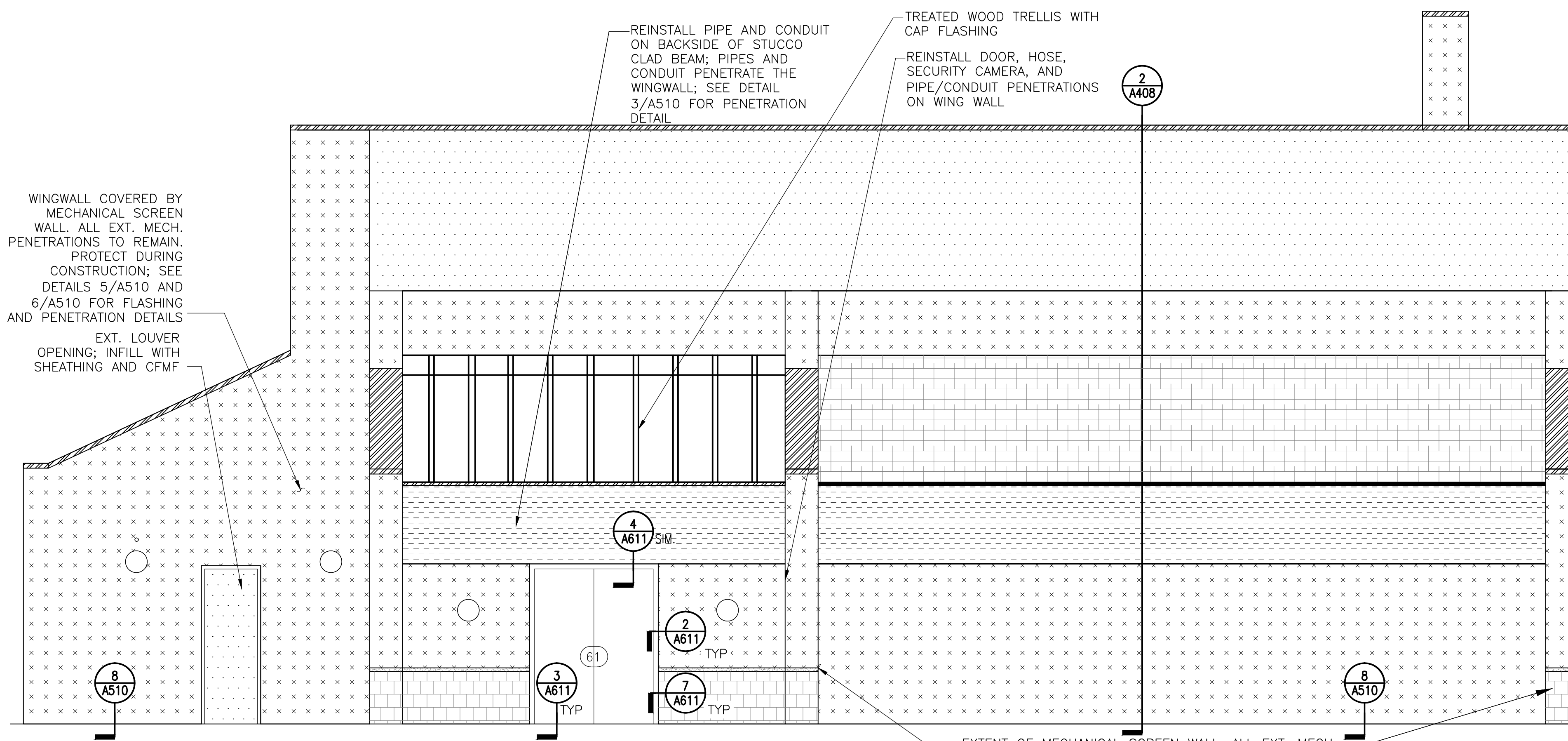
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| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |

Drawing No.

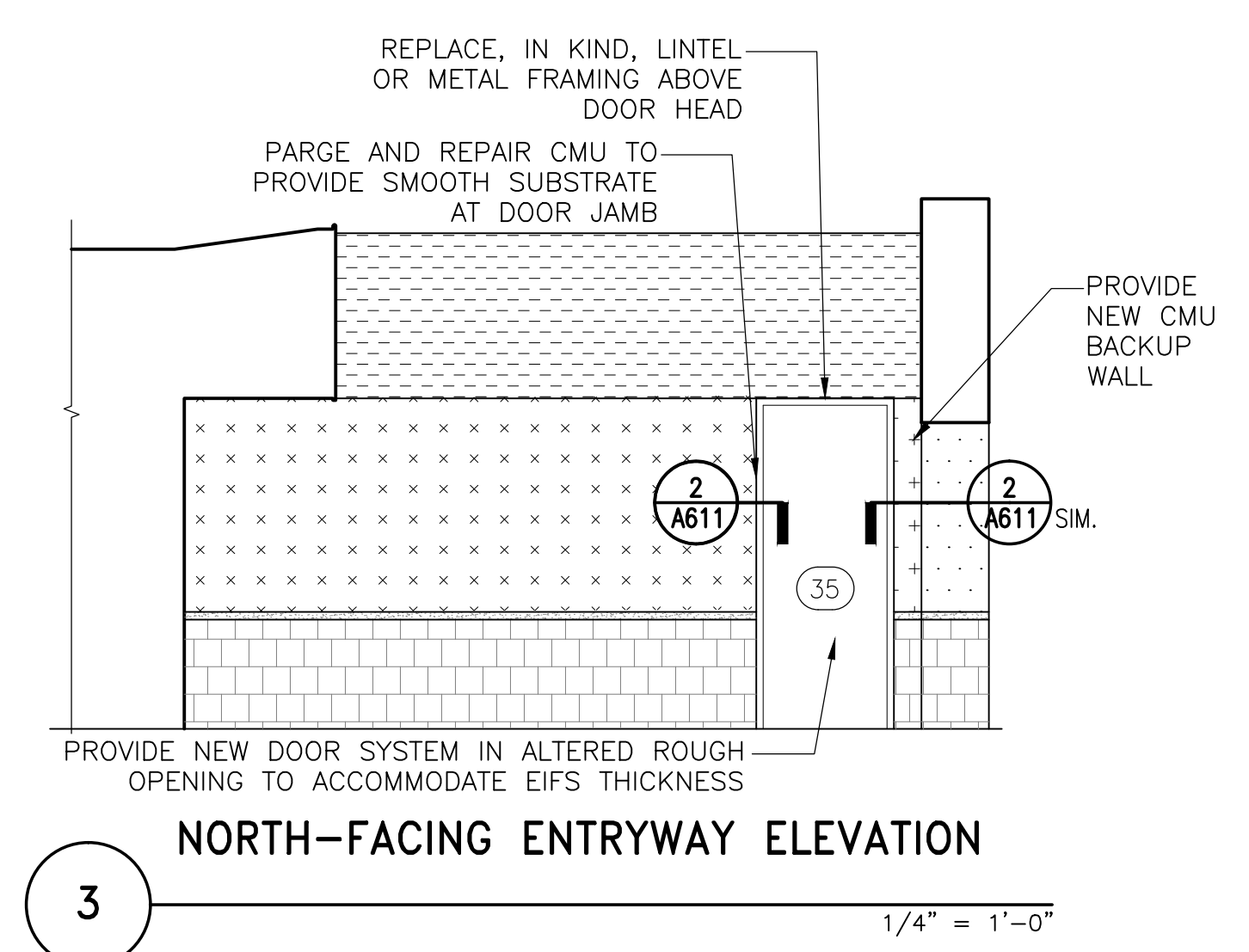
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Seal



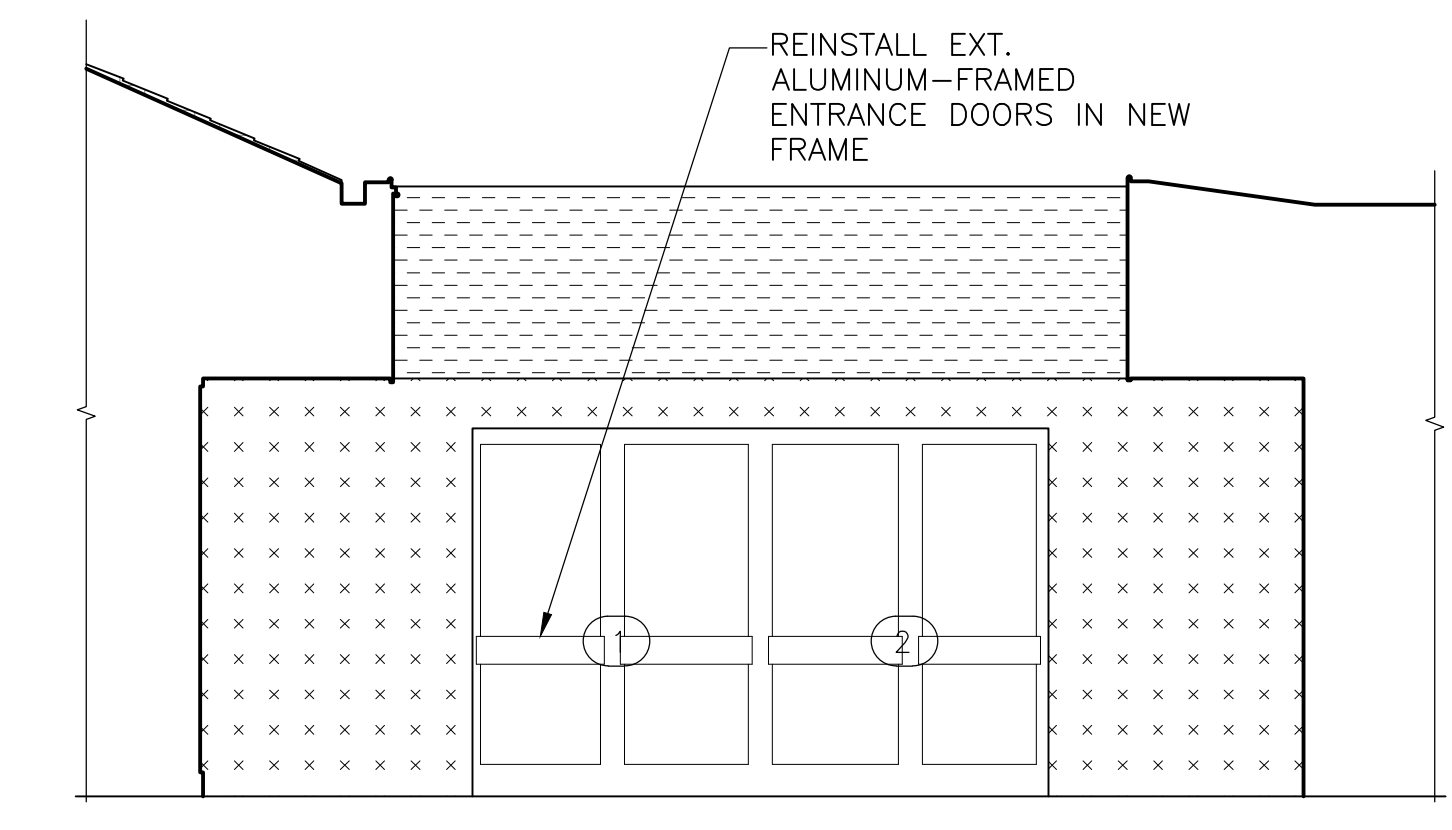
WEST ELEVATION - NORTH END

1/4" = 1'-0"



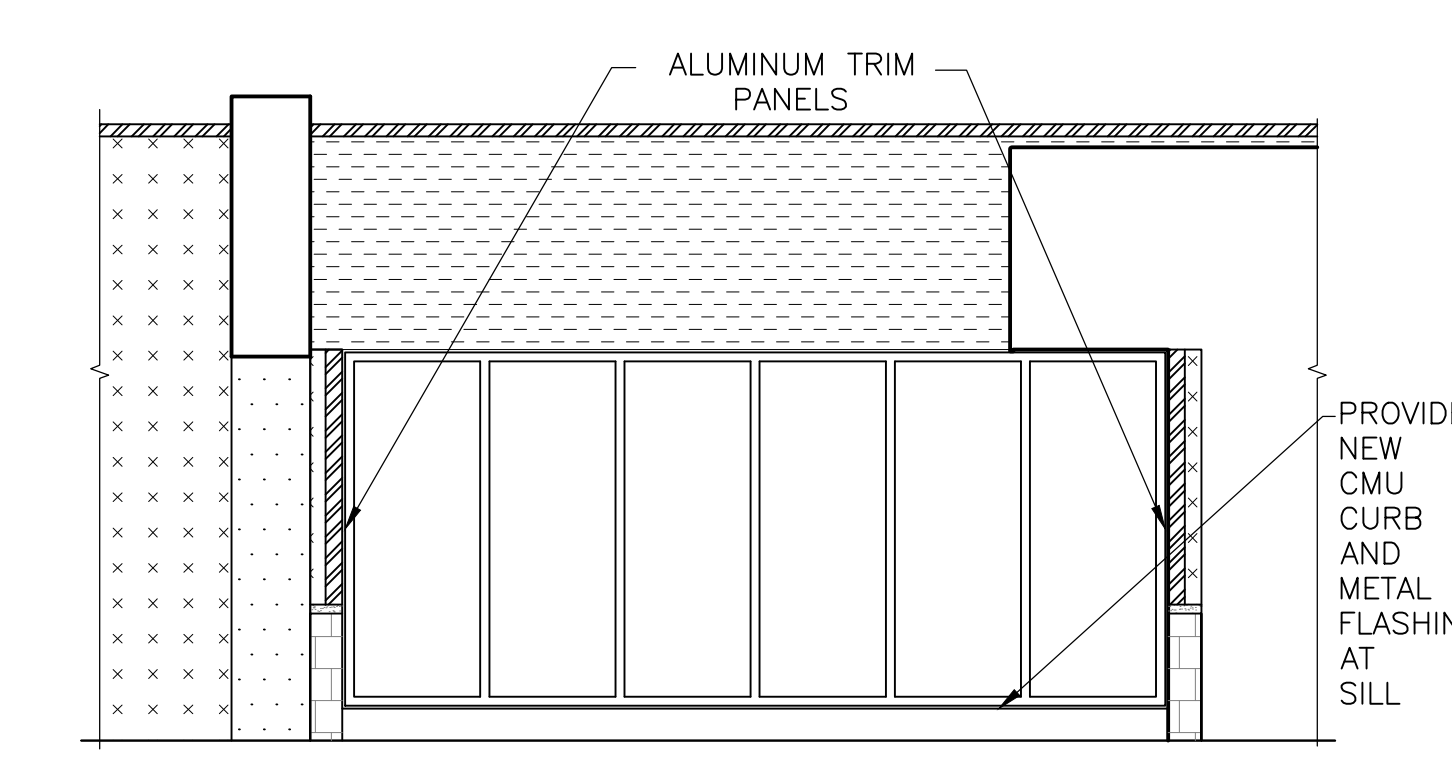
NORTH-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"



WEST-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"



SOUTH-FACING ENTRYWAY ELEVATION

1/4" = 1'-0"

NOTE: Electrical work is shown on this drawing for coordination purposes only. See Drawing E-001 for typical electrical scope of work.

WEST ELEVATION - SOUTH END

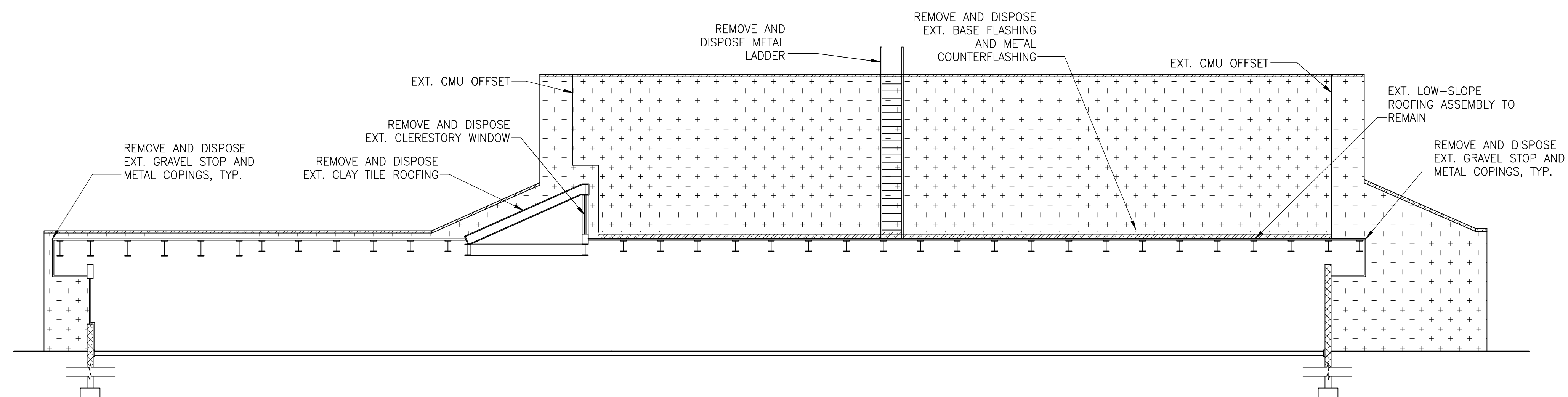
1/4" = 1'-0"

LEGEND:

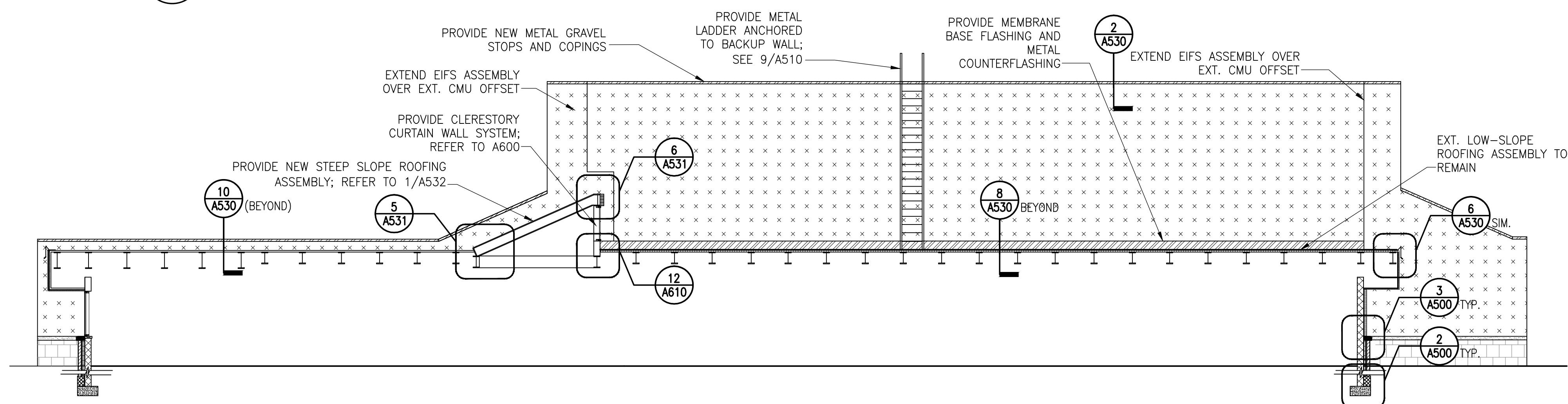
| | | | |
|--|---|---|---|
| SOFFIT EIFS ASSEMBLY OVER NEW CFMF | BRICK MASONRY | SYNTHETIC CLAY TILE ROOF | HOSE BIB; REPLACE AND PROVIDE LONGER CONNECTION |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION | EXT. WOOD TRELLIS ANCHORS (ANCHORS ARE ALSO ATTACHED TO BACKSIDE OF EIFS CLAD BEAM) | VENT ON UNDERSIDE OF SOFFIT; REINSTALL OR REPLACE |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING | SCONCE; REINSTALL OR REPLACE | METAL LOUVER |

NOTE: VERIFY ALL TYPES, NUMBER AND LOCATION OF MEP FIXTURES ON THE ELEVATIONS

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
| Cost Estimating Consultant | Forella Group, LLC. 9495 Silver King Ct., Suite A Fairfax, VA 22031 703.560.2200 |
| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 BUILDING SECTION LOOKING WEST - DEMO
1/8" = 1'-0"



2 BUILDING SECTION LOOKING WEST - NEW
1/8" = 1'-0"

LEGEND:

| | |
|--|---|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | BRICK MASONRY |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING |

PERMIT RESPONSE SET

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LICENSE NO. 15484
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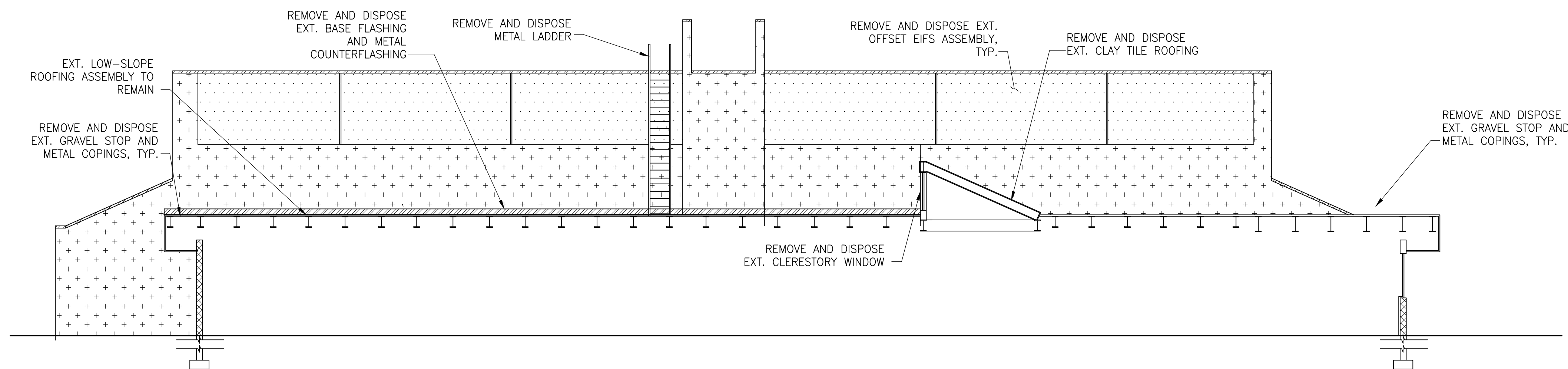
| No. | Date | Description | By |
|-----|----------|-------------------------|----|
| △ | 02/22/16 | Permit Response Set | |
| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project
BUILDING SECTIONS
Drawing Title

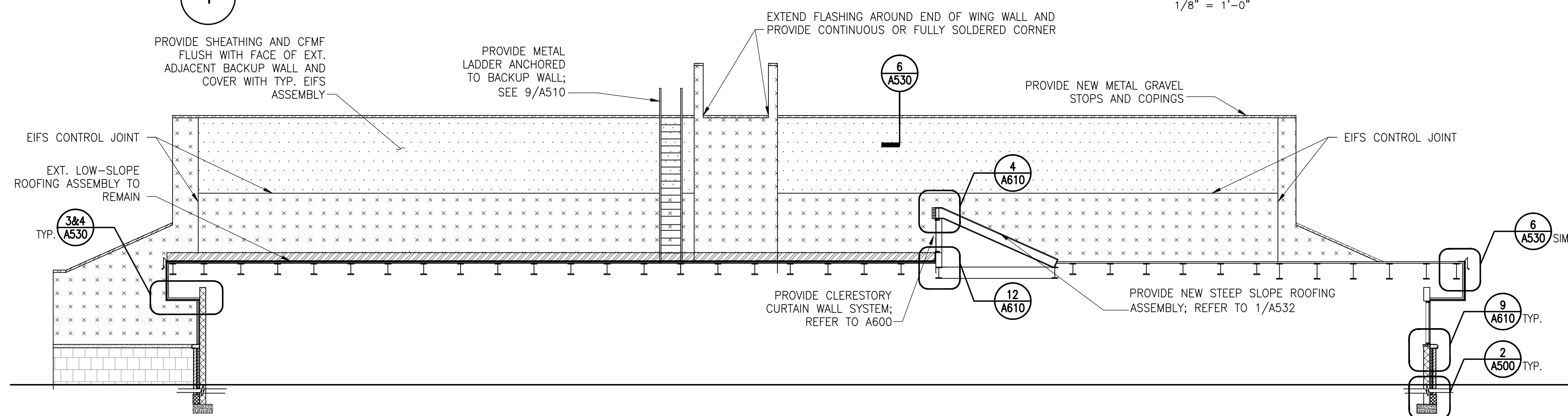
| | | |
|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A300 |

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
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| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 BUILDING SECTION LOOKING EAST - DEMO

1/8" = 1'-0"



2 BUILDING SECTION LOOKING EAST - NEW

1/8" = 1'-0"

LEGEND:

| | |
|--|---|
| DIRECT APPLIED STUCCO ON CMU BACKUP; TO REMAIN, REPAIR AS REQUIRED | BRICK MASONRY |
| EIFS ASSEMBLY OVER NEW SHEATHING AND CFMF BACKUP | CAST STONE BAND AT BRICK TO EIFS TRANSITION |
| EIFS ASSEMBLY OVER CMU BACKUP | METAL GRAVEL STOP OR COPING |

PERMIT RESPONSE SET

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| | 08/28/15 | 100% Design Development | |

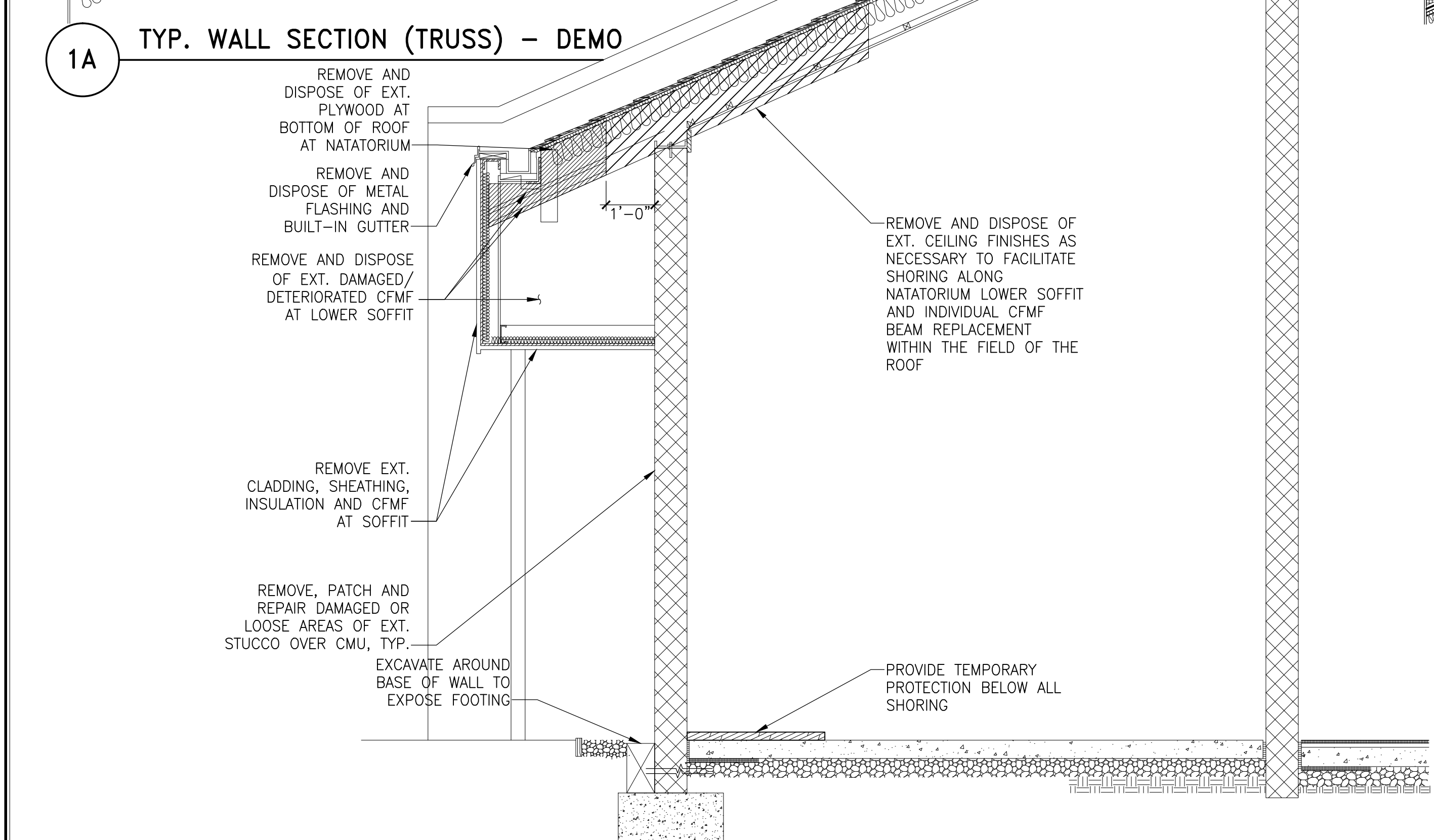
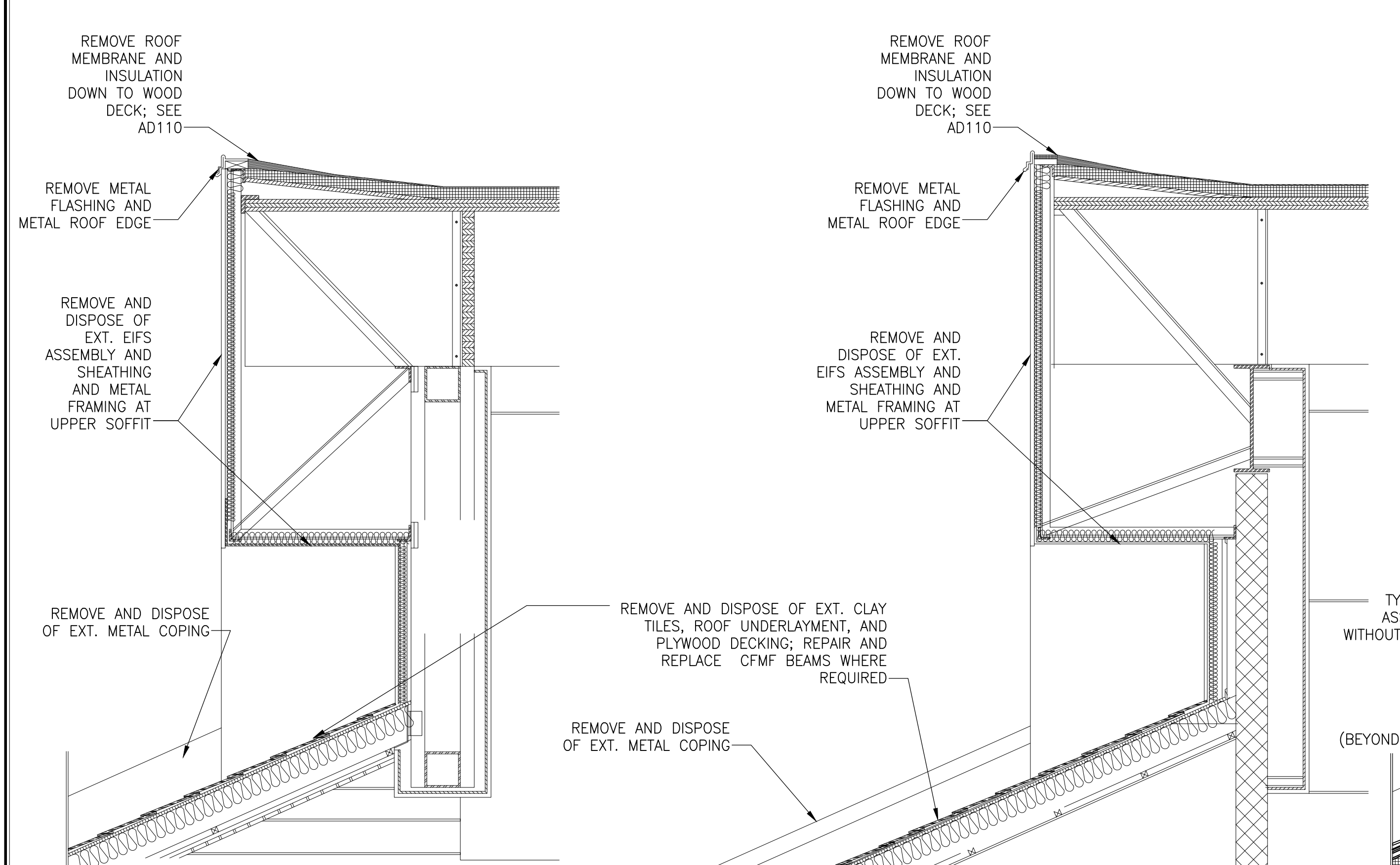
**PHYSICAL EDUCATION BLDG
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20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

Project

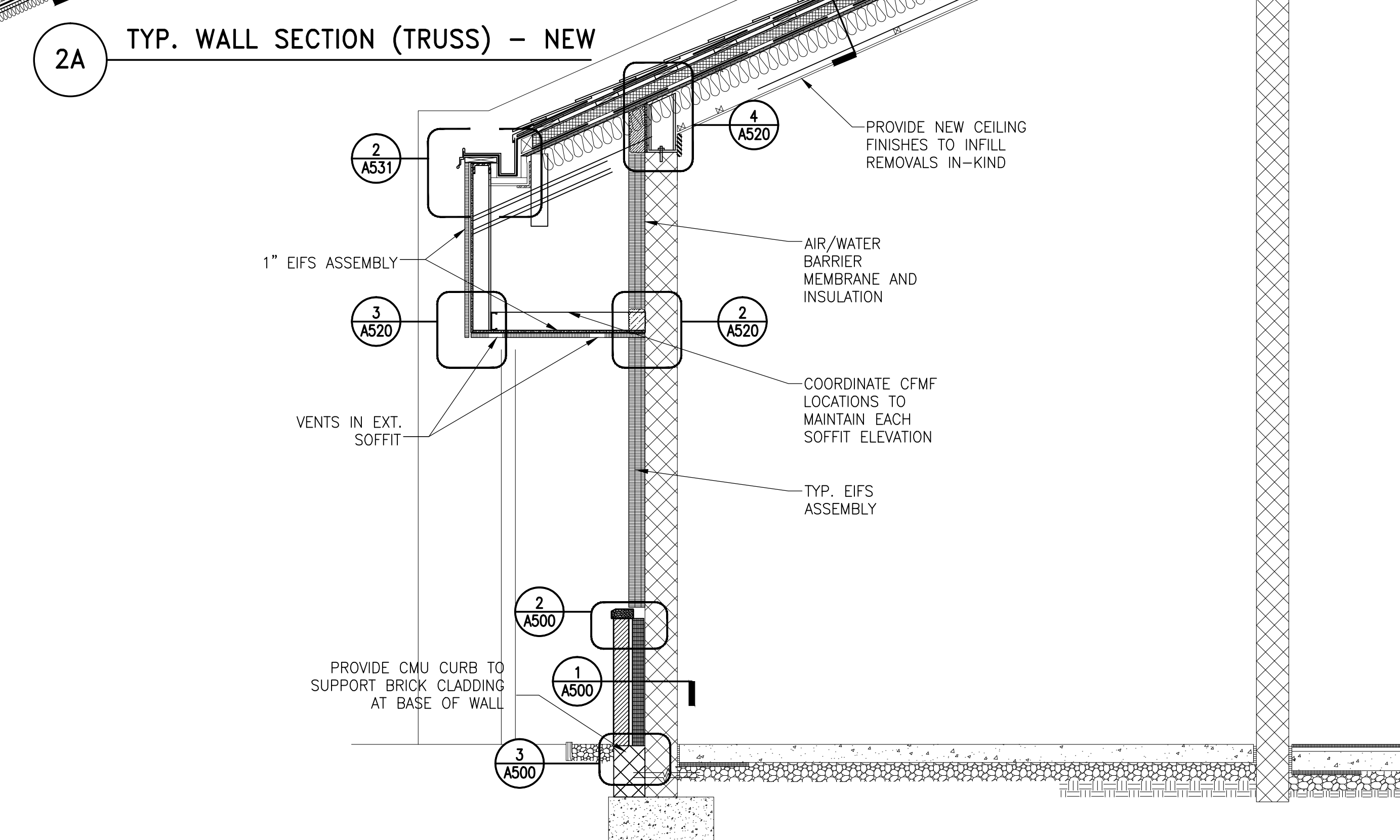
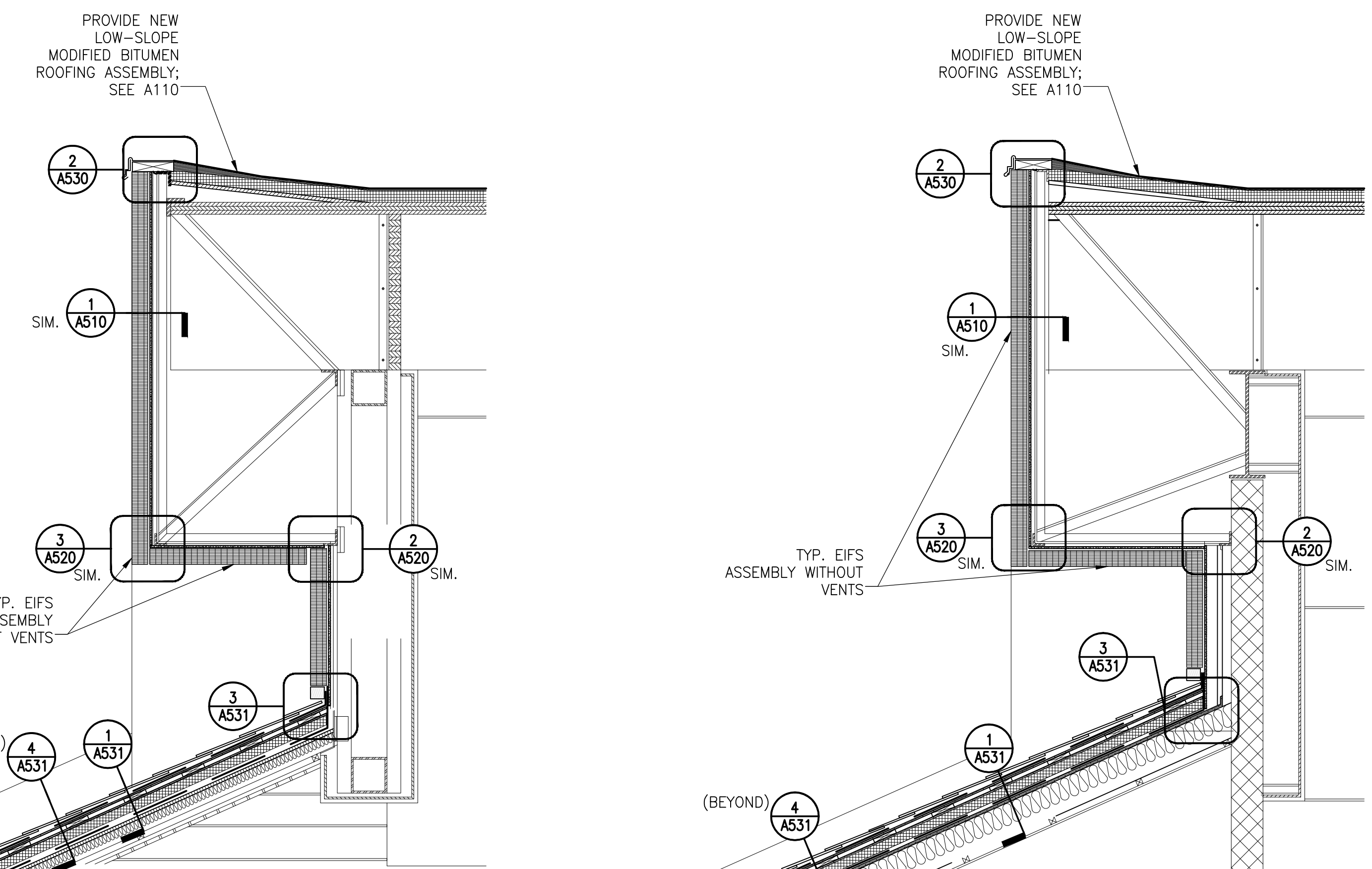
BUILDING SECTIONS

Drawing Title

| | | |
|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A301 |



1 EXISTING TYP. WALL SECTION AT NATATORIUM - DEMO
1/2"=1'-0"



2 TYP. WALL SECTION AT NATATORIUM - NEW
1/2"=1'-0"

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Door Hardware Consultant: **Ebschloe Consulting Services, Inc.**
7820 Carters Run Drive
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540.351.0553

Security Consultant: **GHD, Inc.**
14885 Avion Parkway, Suite 150
Chantilly, VA 20151
571.325.5000

Cost Estimating Consultant: **Forella Group, LLC.**
9495 Silver King Ct., Suite A
Fairfax, VA 22031
703.560.2200

Electrical Consultant: **bkm, Inc.**
1416 Clarkview Road
Baltimore, MD 21209
410.323.0600

PERMIT RESPONSE SET

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15484 EXPIRATION DATE: 08-02-2017

| No. | Date | Description | By |
|----------|------|-------------------------|----|
| 02/22/16 | | Permit Response Set | |
| 01/22/16 | | Bid Set | |
| 11/20/15 | | Pricing/Permit Set | |
| 08/28/15 | | 100% Design Development | |

| No. | Date | Description | By |
|----------|------|-------------------------|----|
| 02/22/16 | | Permit Response Set | |
| 01/22/16 | | Bid Set | |
| 11/20/15 | | Pricing/Permit Set | |
| 08/28/15 | | 100% Design Development | |

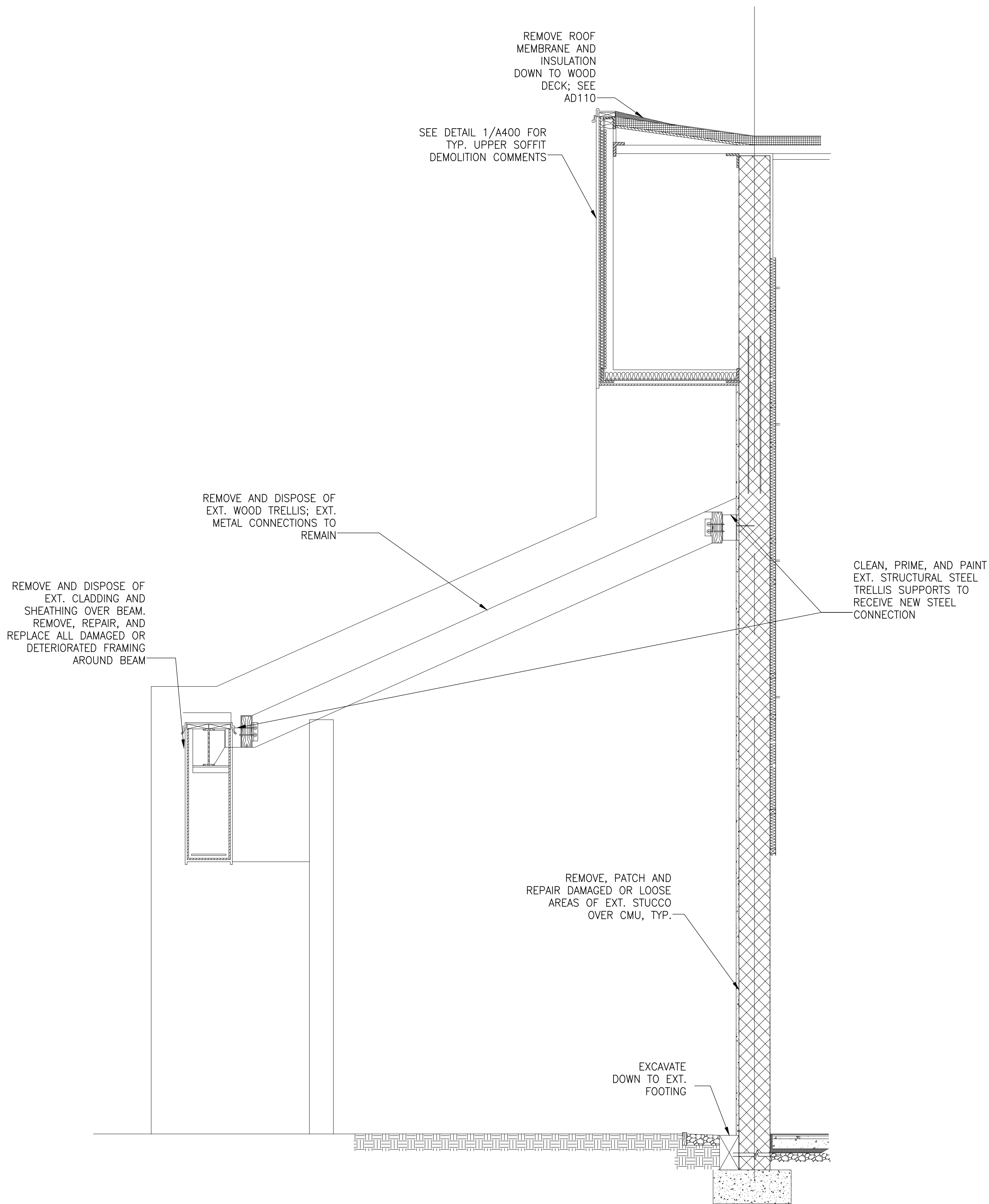
**PHYSICAL EDUCATION BLDG
EXTERIOR RENOVATION
MONTGOMERY COLLEGE
GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

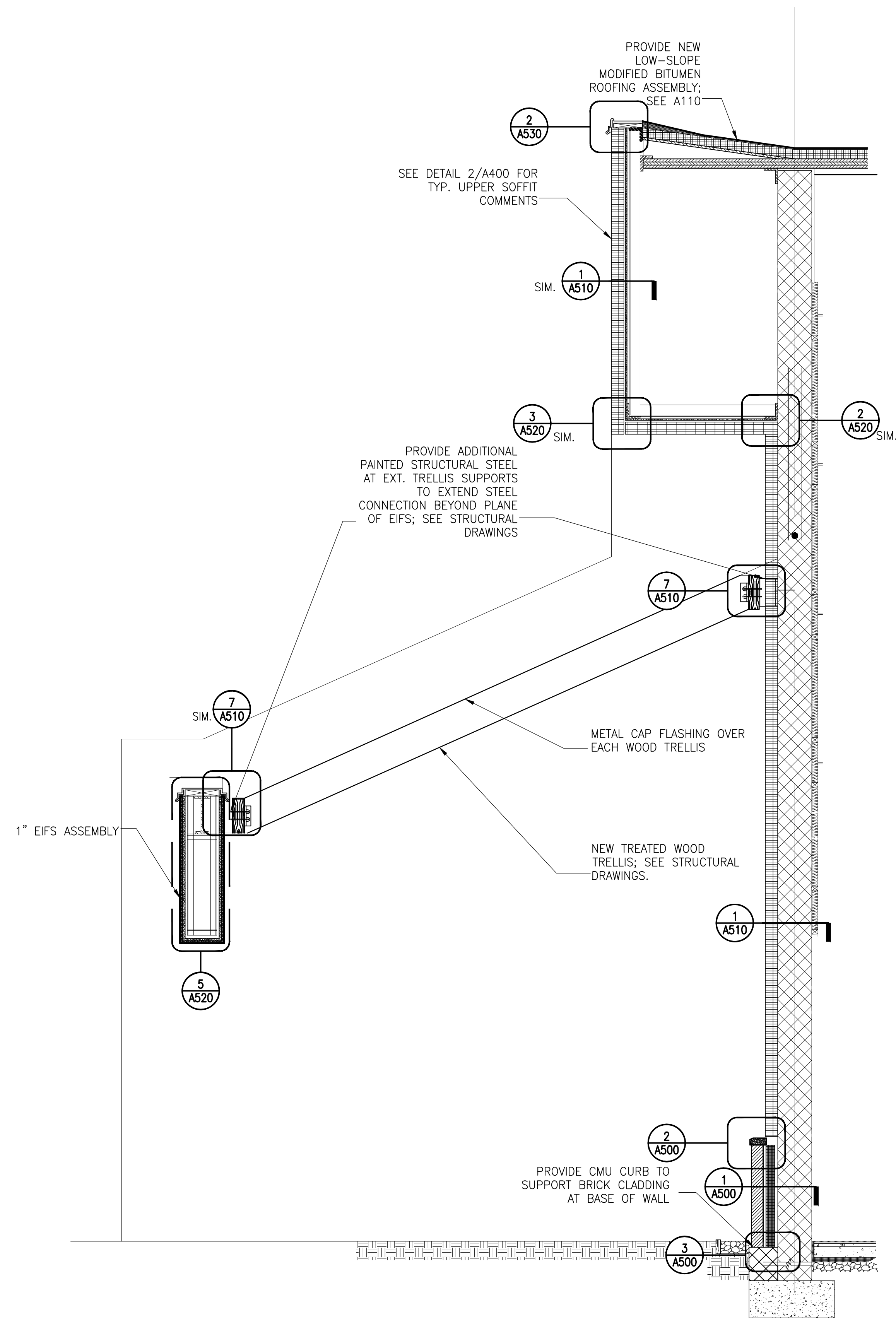
WALL SECTIONS

Drawing Title

| | | |
|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A400 |



1 EXISTING TYP. WALL SECTION AT WOOD TRELLIS - DEMO
 NOTE: SEE DETAIL 1/A400 FOR TYP. DEMO AT SIM. EXTERIOR WALLS AND SOFFITS
 1/2"=1'-0"



2 TYP. WALL SECTION AT WOOD TRELLIS - NEW
 1/2"=1'-0"

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| 08/28/15 | | 100% Design Development | |

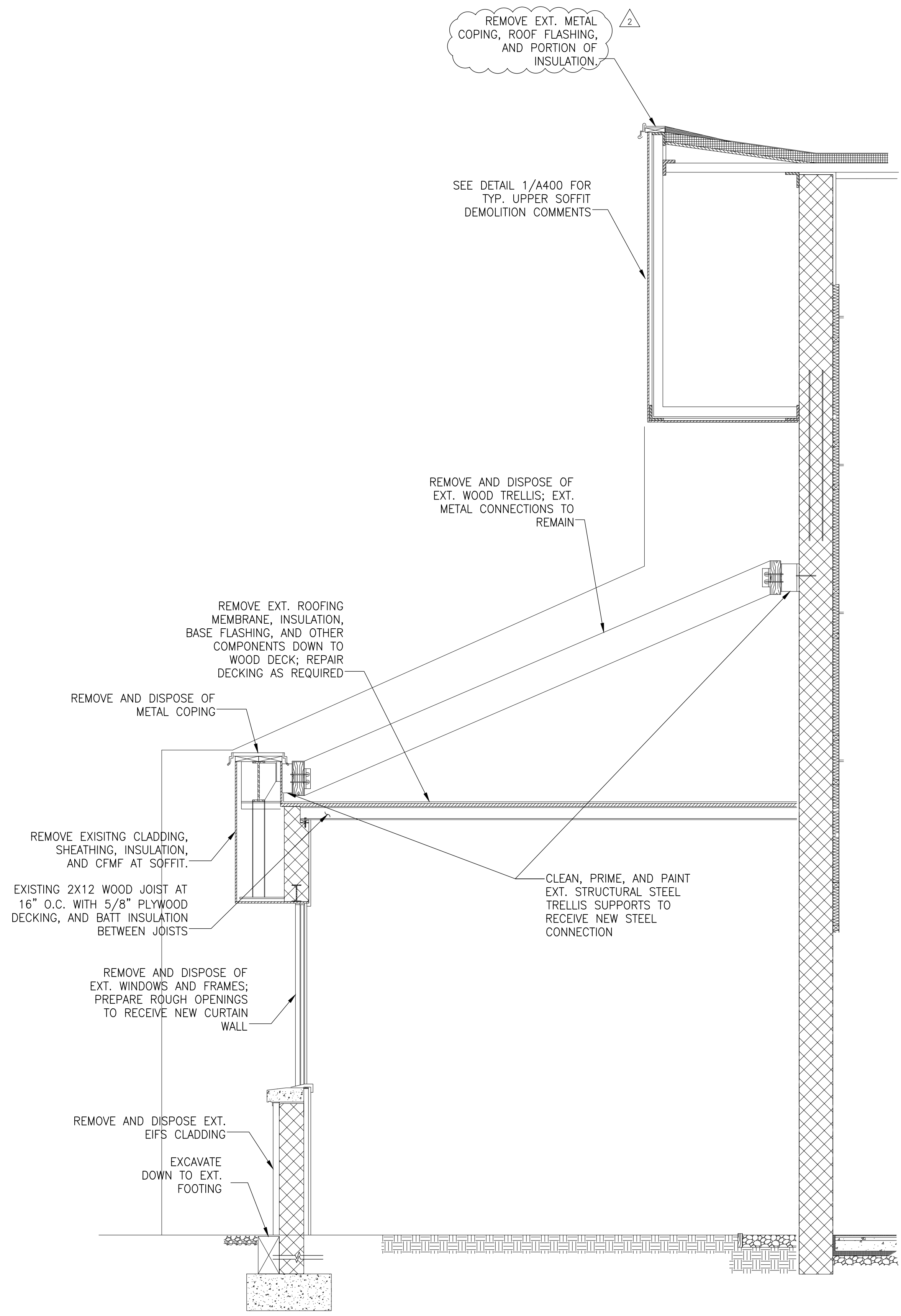
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 GERMANTOWN, MD 20876**

Project

WALL SECTIONS

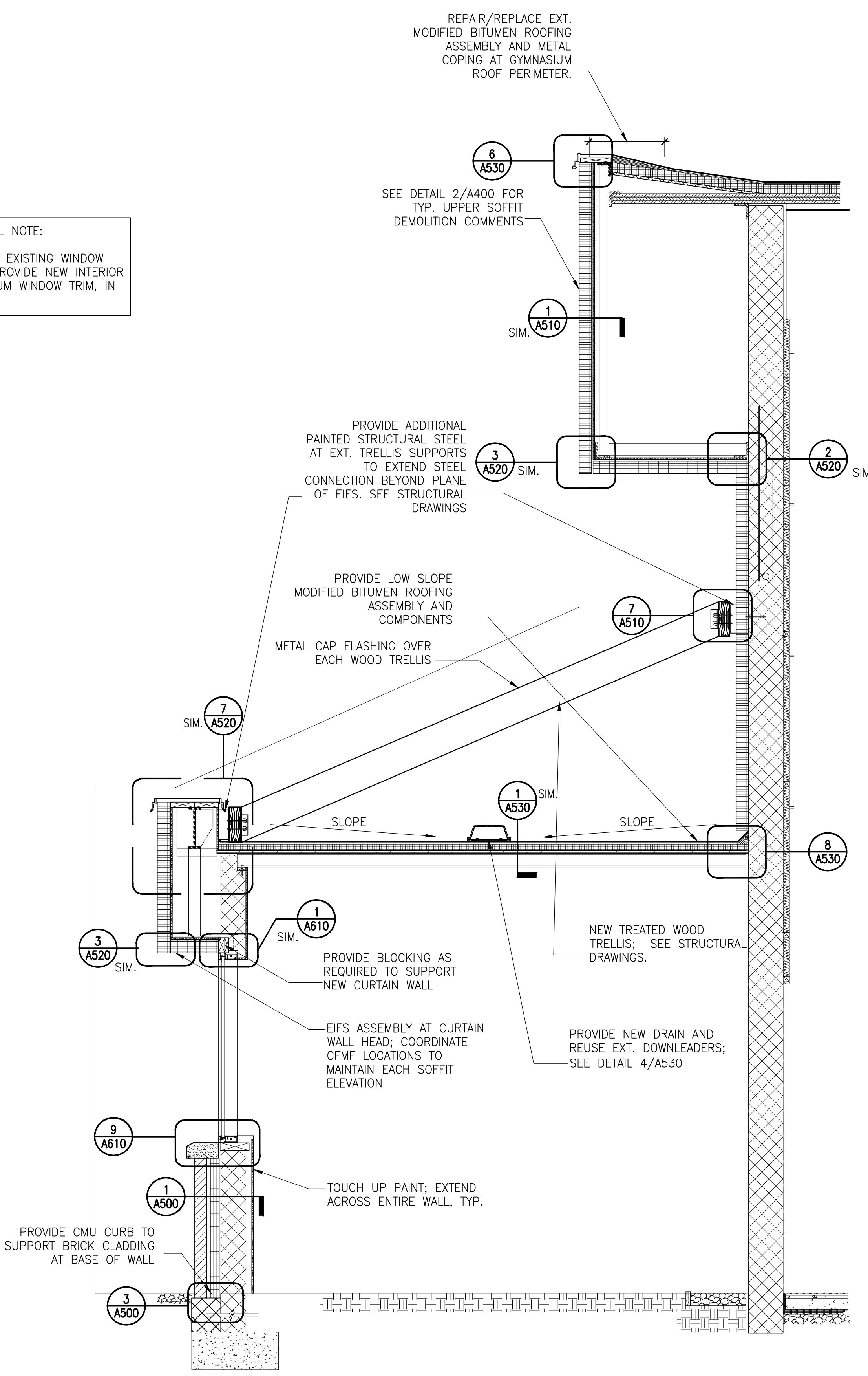
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|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A401 |



1 EXISTING WEIGHT ROOM WALL SECTION - DEMO
1/2"=1'-0"

GENERAL NOTE:
REMOVE EXISTING WINDOW TRIM. PROVIDE NEW INTERIOR ALUMINUM WINDOW TRIM, IN KIND



2 WEIGHT ROOM WALL SECTION AT WOOD TRELLIS - NEW
1/2"=1'-0"

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| 11/20/15 | | Pricing/Permit Set | |
| 08/28/15 | | 100% Design Development | |

| No. | Date | Description | By |
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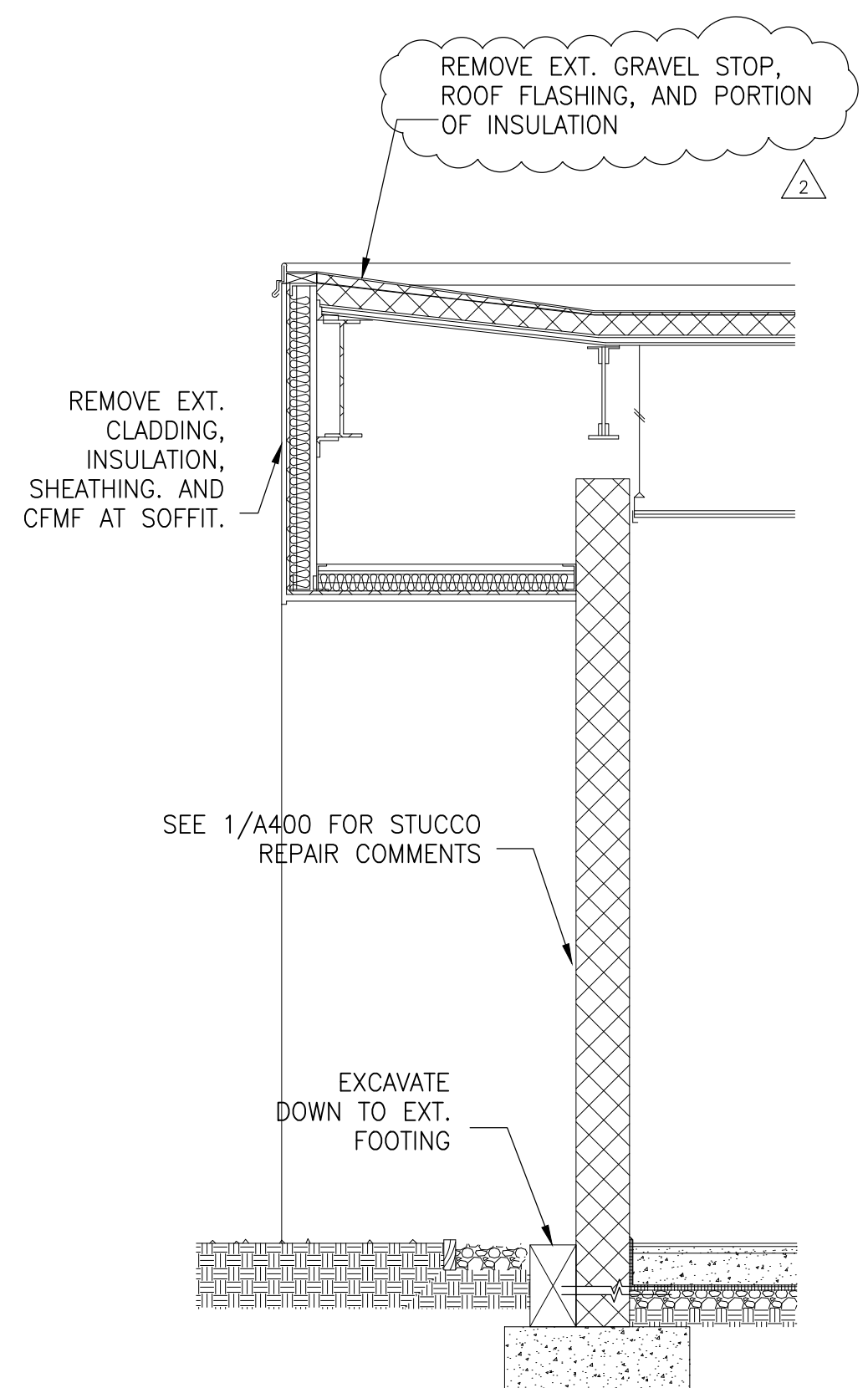
Project

WALL SECTIONS

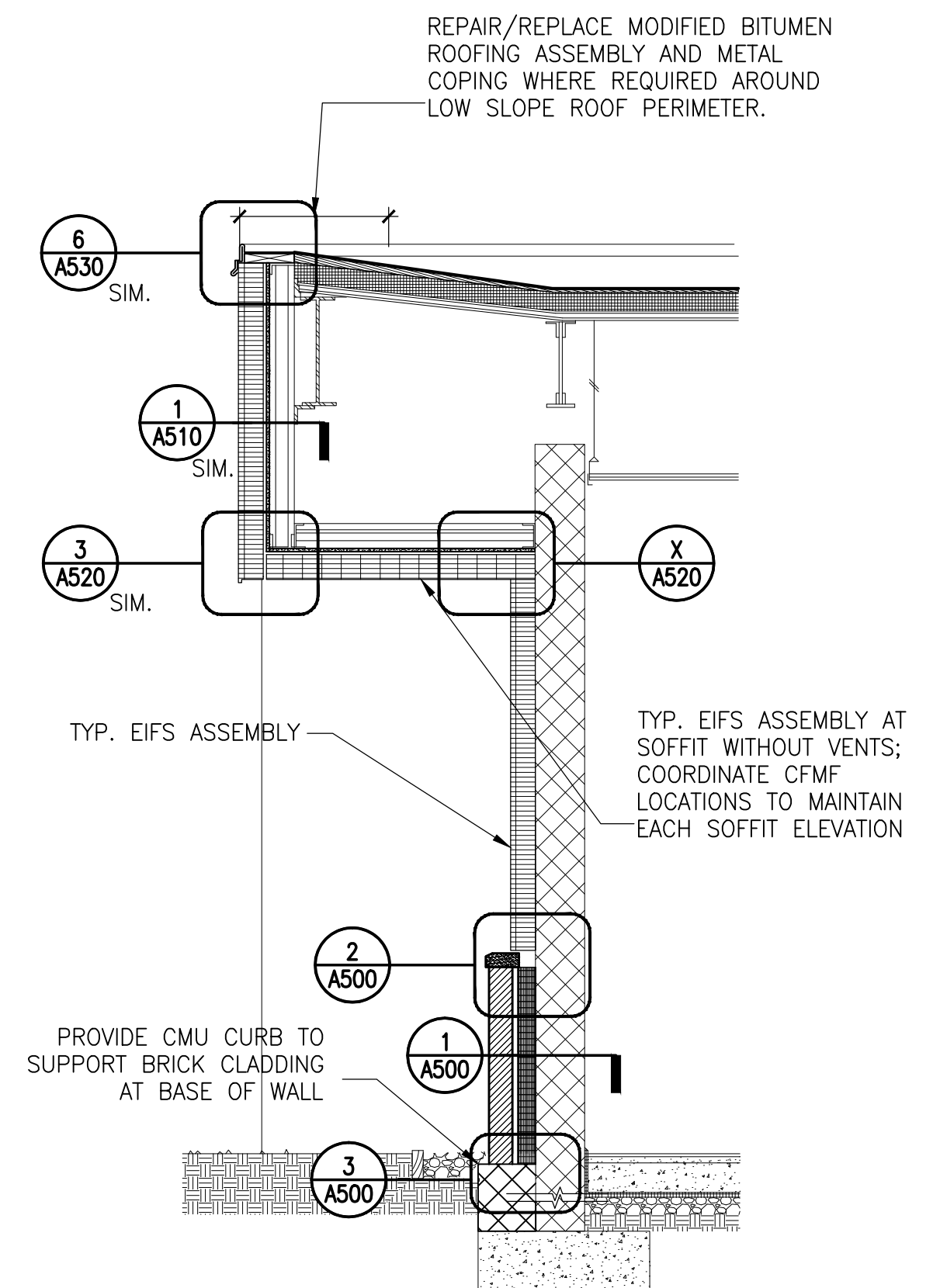
Drawing Title

| | | |
|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A402 |

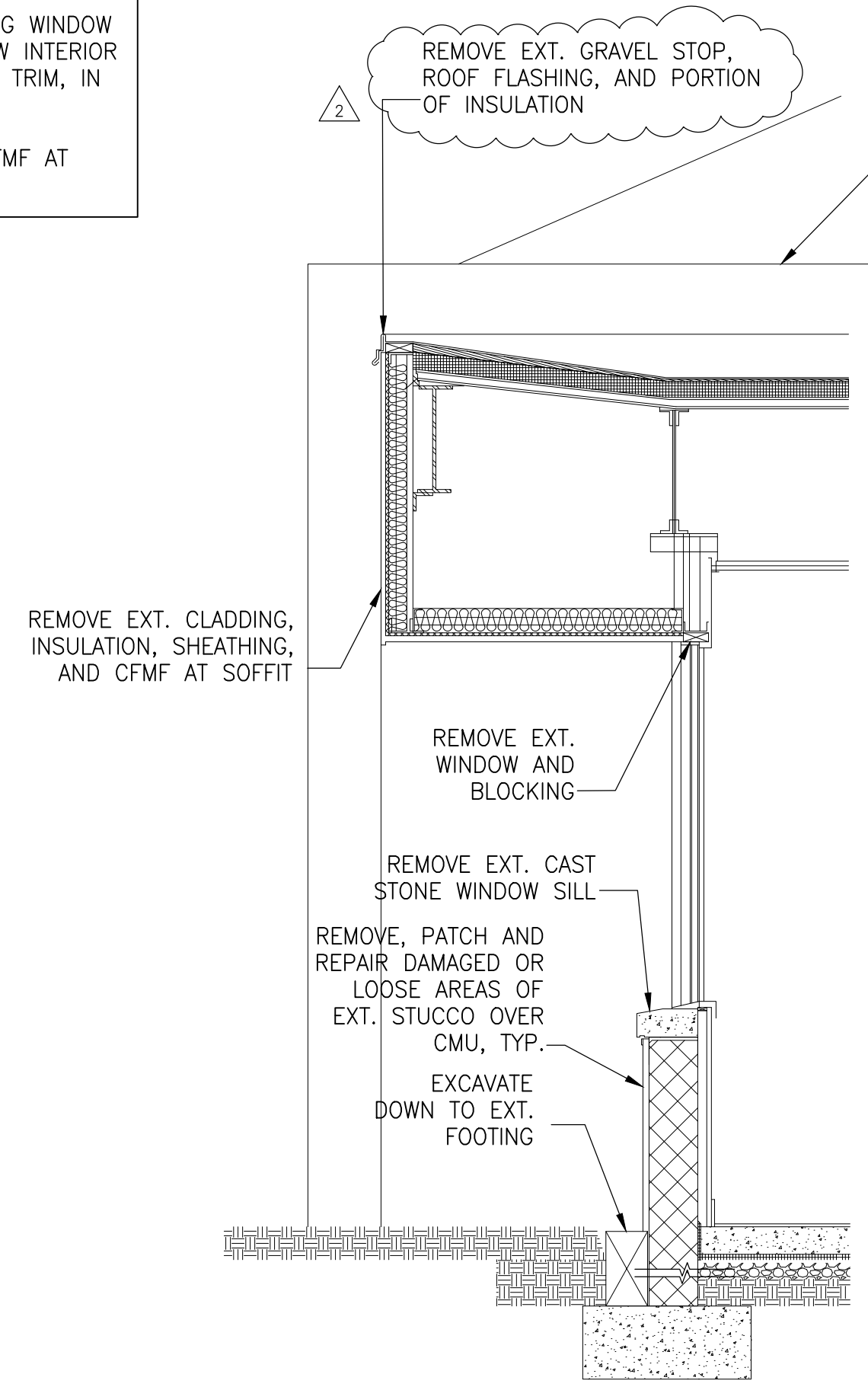
GENERAL NOTE:
 1. REMOVE EXISTING WINDOW TRIM. PROVIDE NEW INTERIOR ALUMINUM WINDOW TRIM, IN KIND
 2. REMOVE ALL CFMF AT SOFFITS



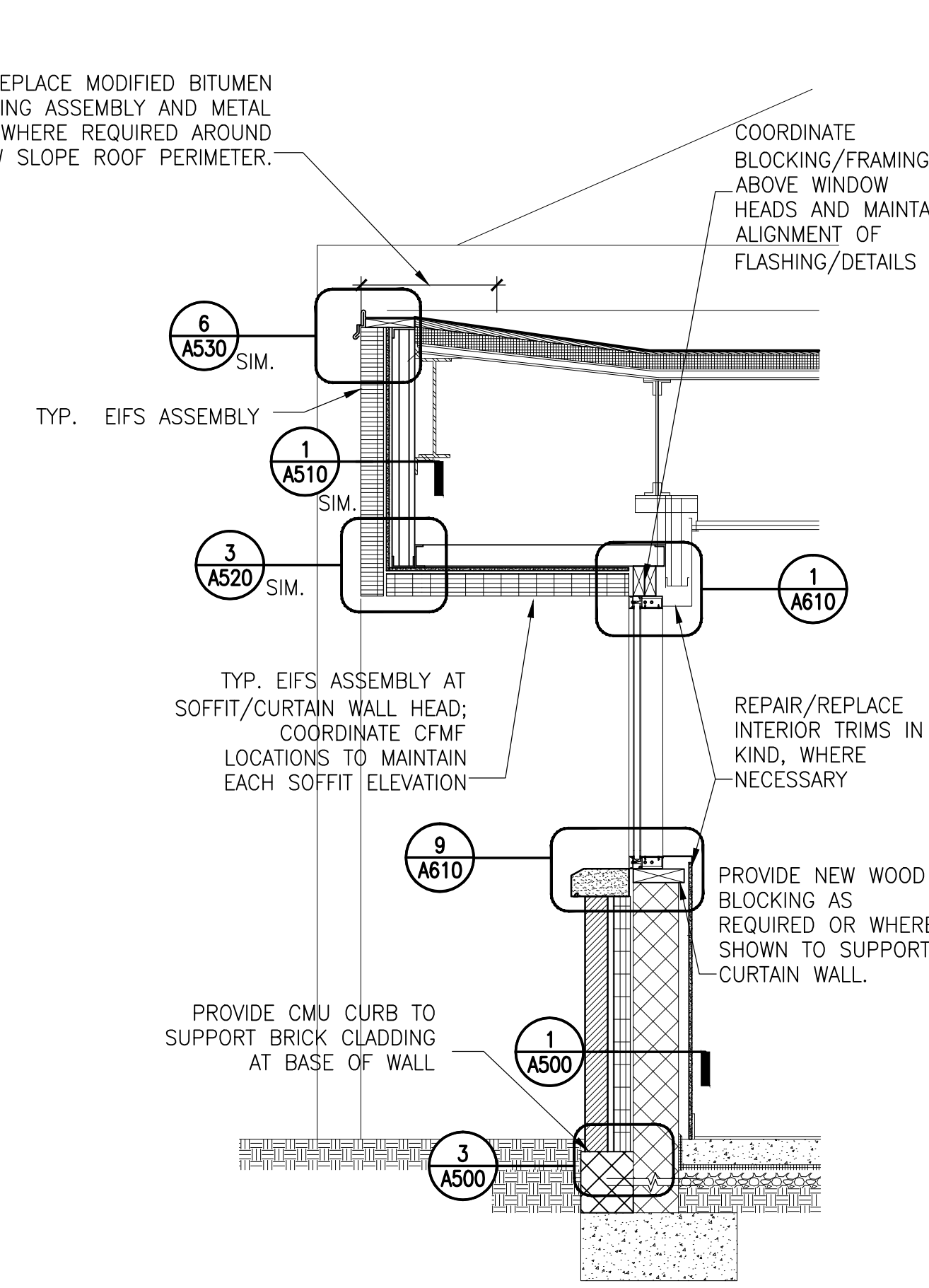
1 SECTION AT LOW ROOF OVERHANG - DEMO
 1/2" = 1'-0"



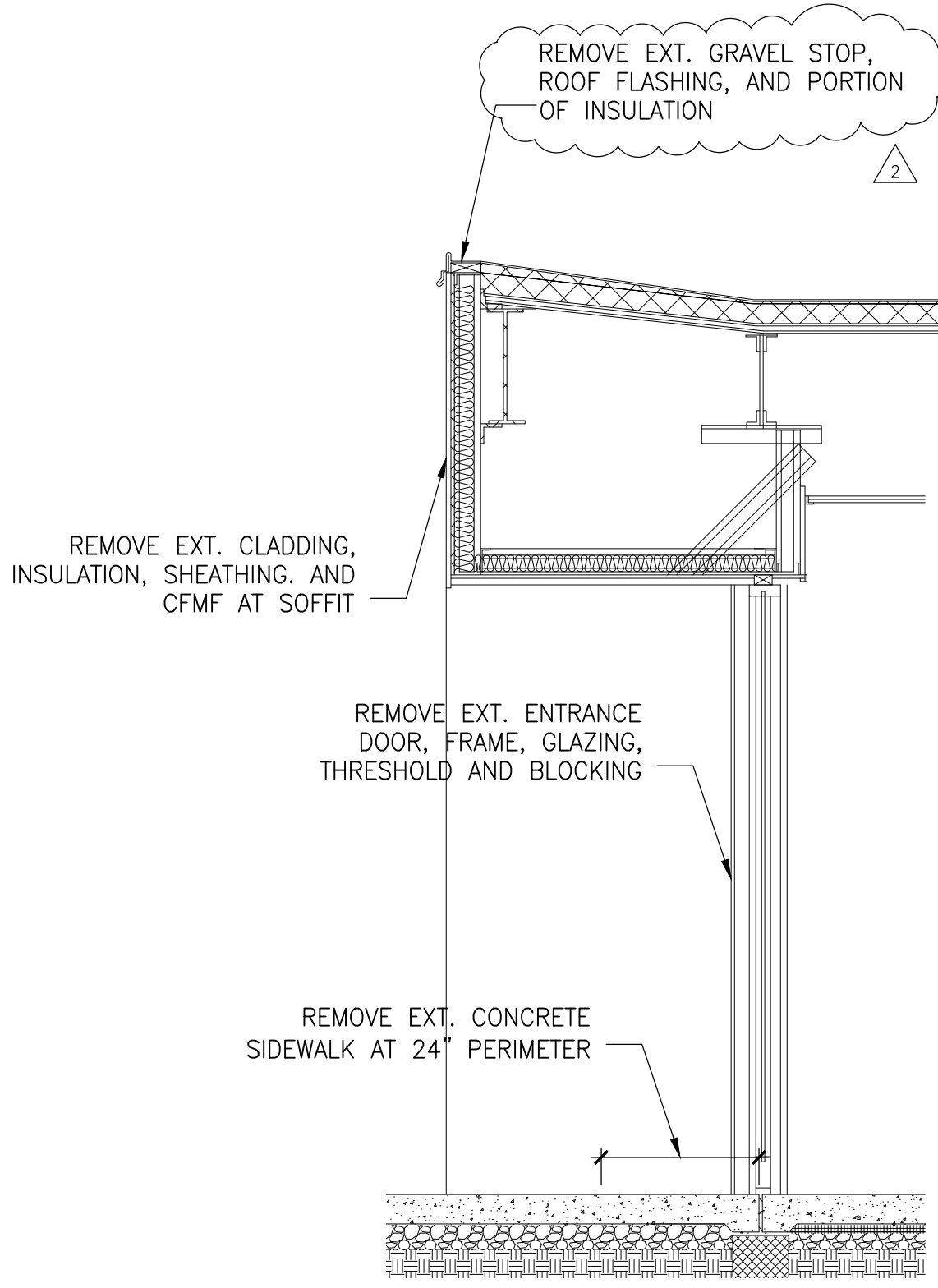
2 SECTION AT LOW ROOF OVERHANG - NEW
 1/2" = 1'-0"



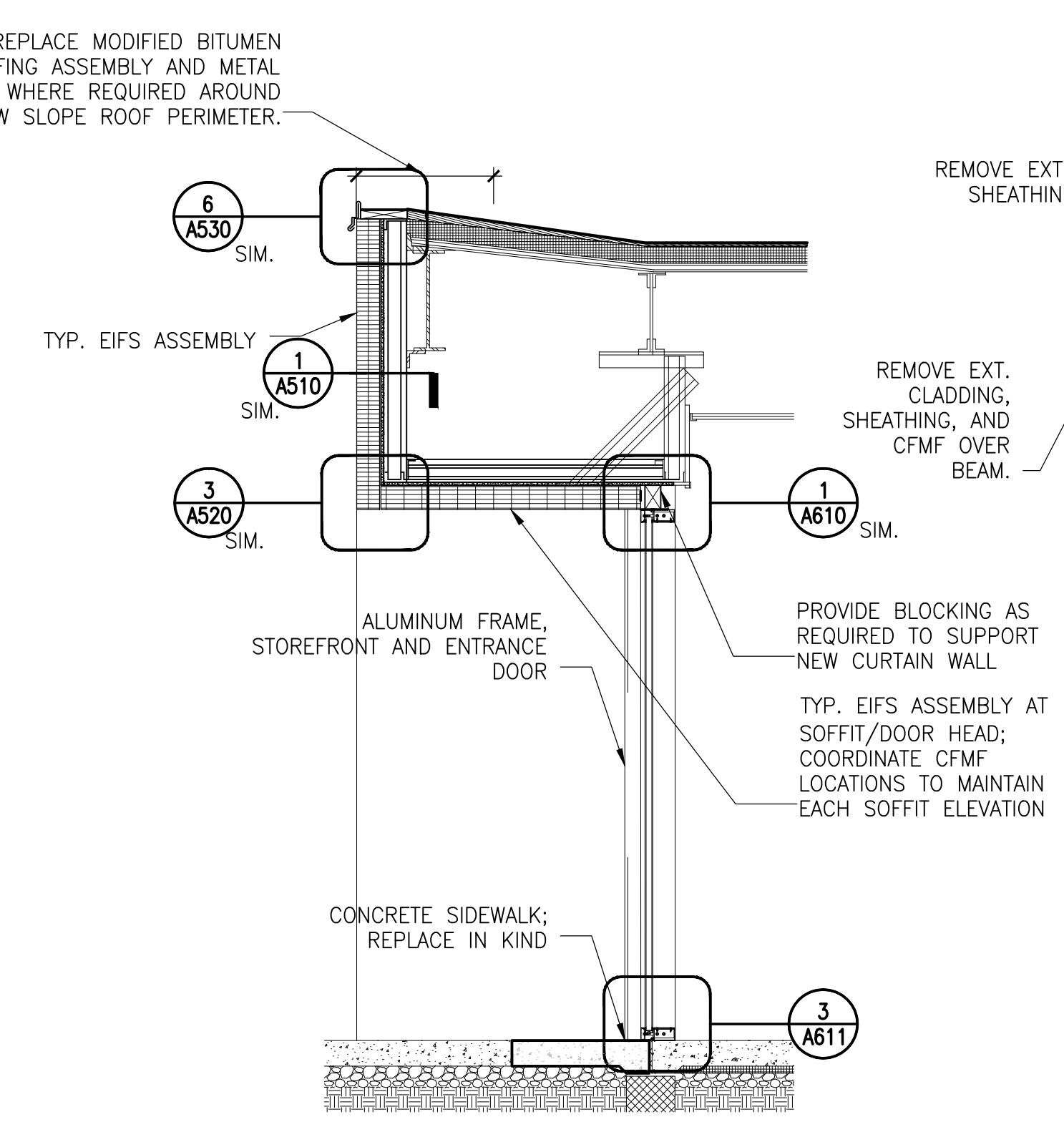
3 TYP. SECTION AT WINDOW - DEMO
 1/2" = 1'-0"



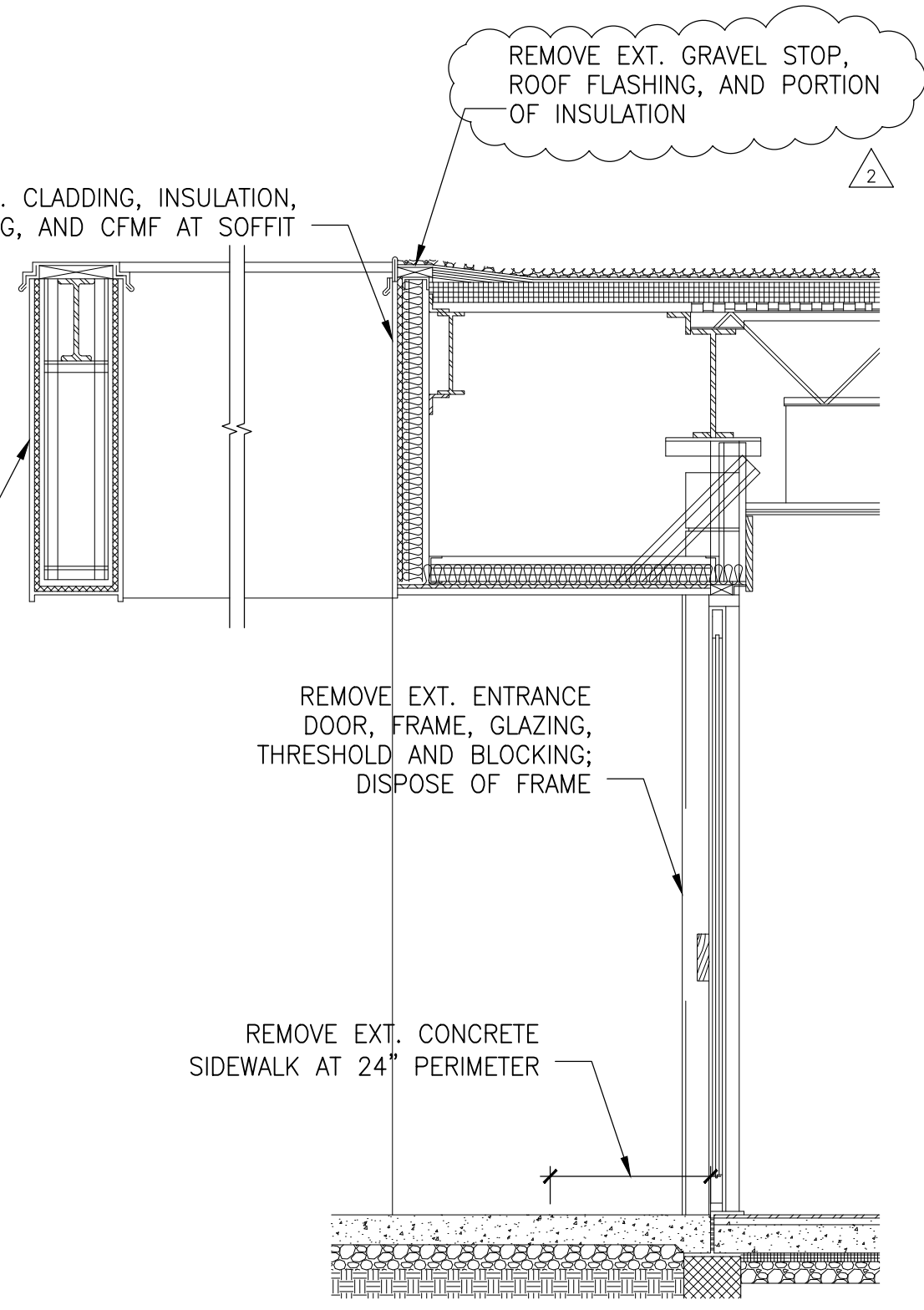
4 SECTION AT WINDOW - NEW
 1/2" = 1'-0"



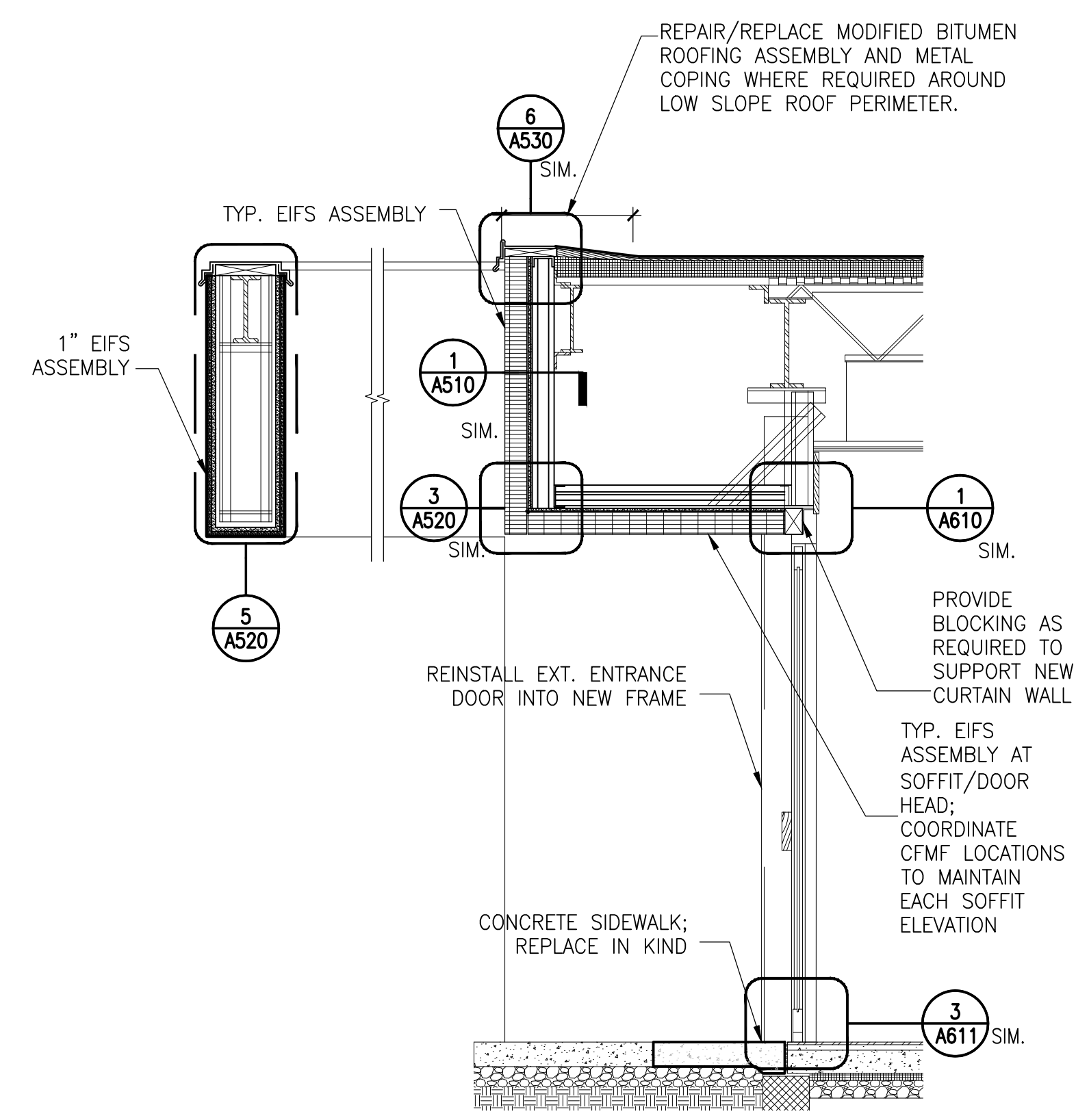
5 SECTION AT NORTH ENTRANCE - DEMO
 1/2" = 1'-0"



6 SECTION AT NORTH ENTRANCE - NEW
 1/2" = 1'-0"



7 DOOR AT MAIN ENTRANCE - DEMO
 1/2" = 1'-0"



8 DOOR AT MAIN ENTRANCE - NEW
 1/2" = 1'-0"

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| 08/28/15 | | 100% Design Development | |

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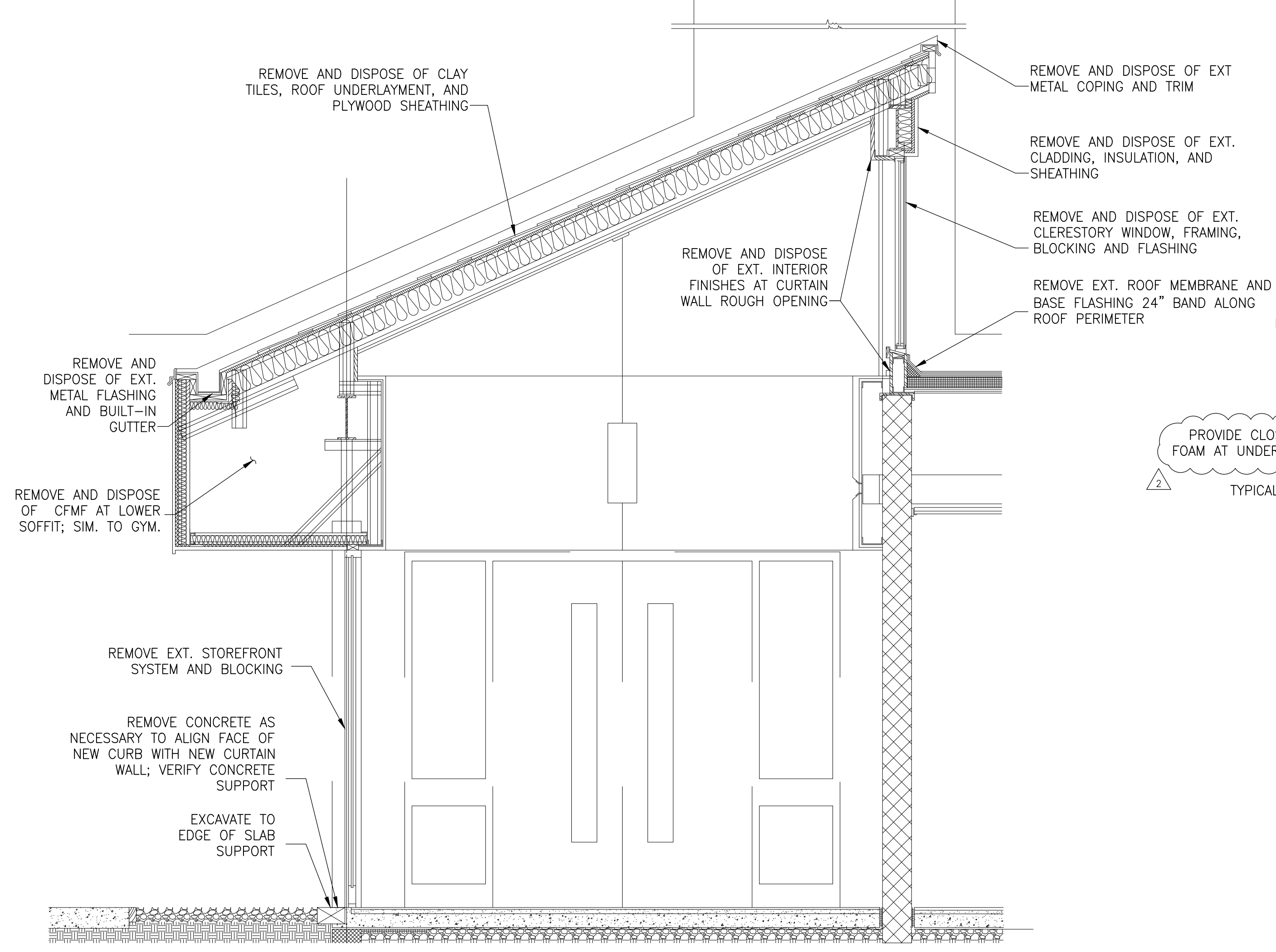
Project

WALL SECTIONS
 Drawing Title

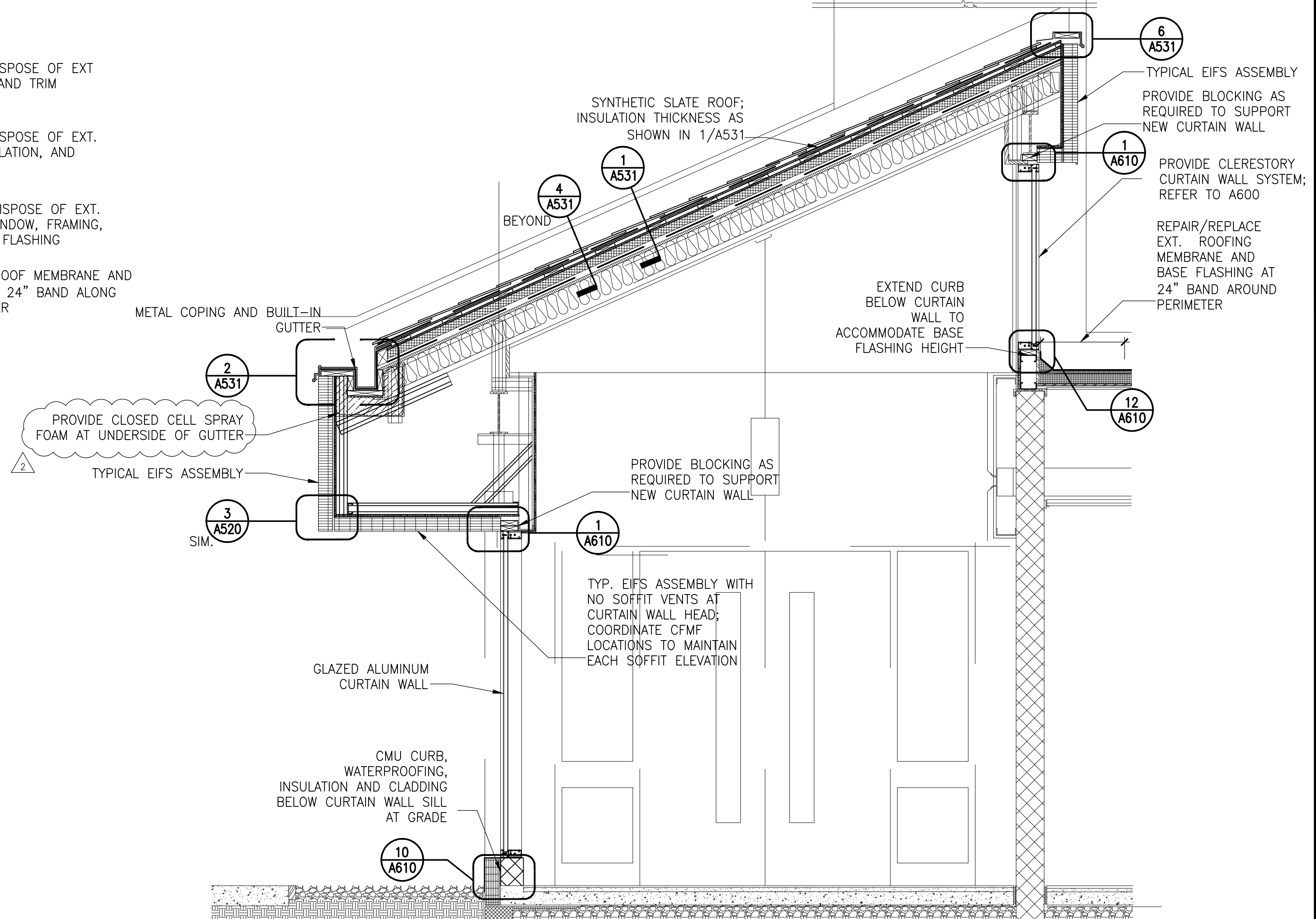
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|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Drawing No. | | |

A403

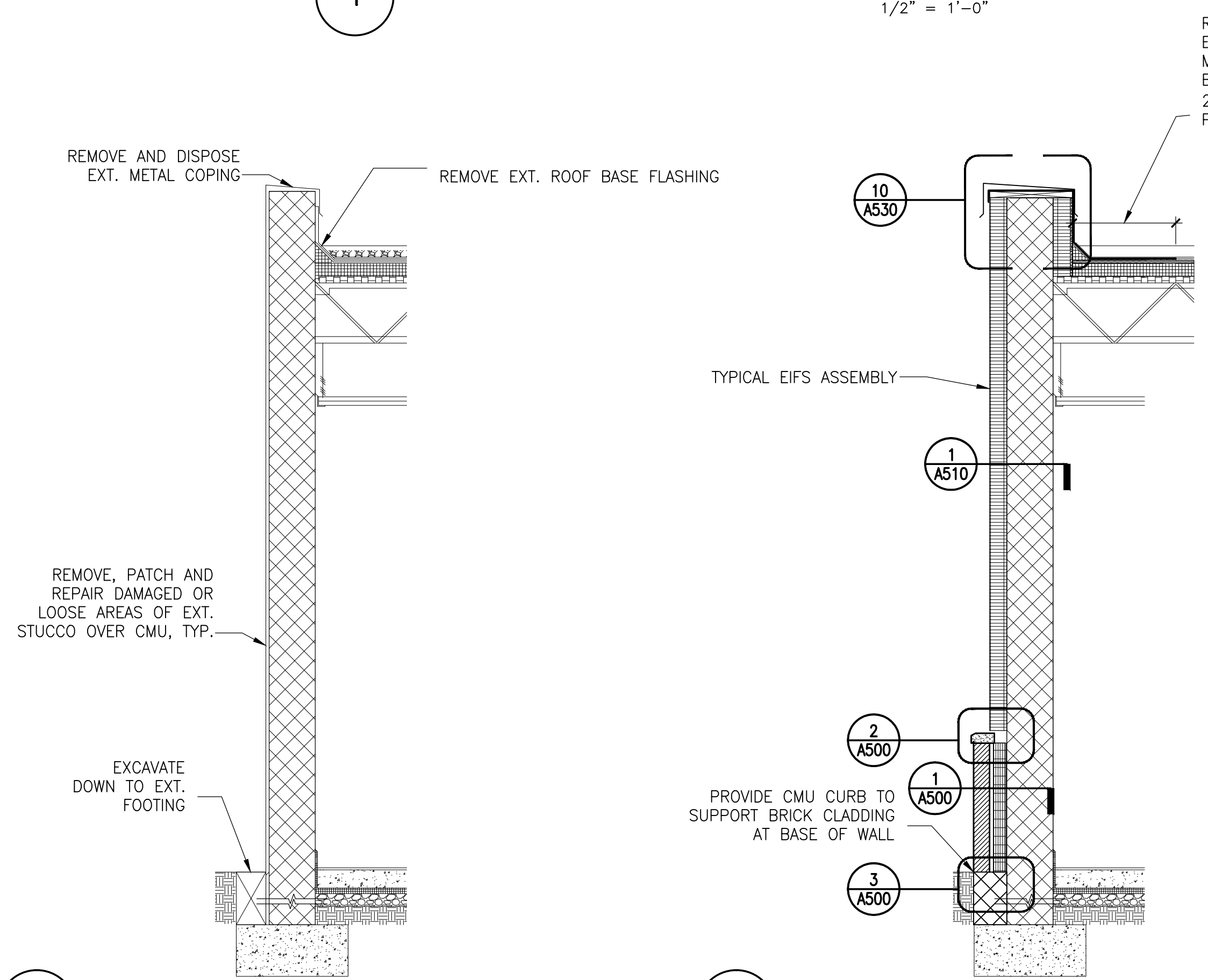
PERMIT RESPONSE SET



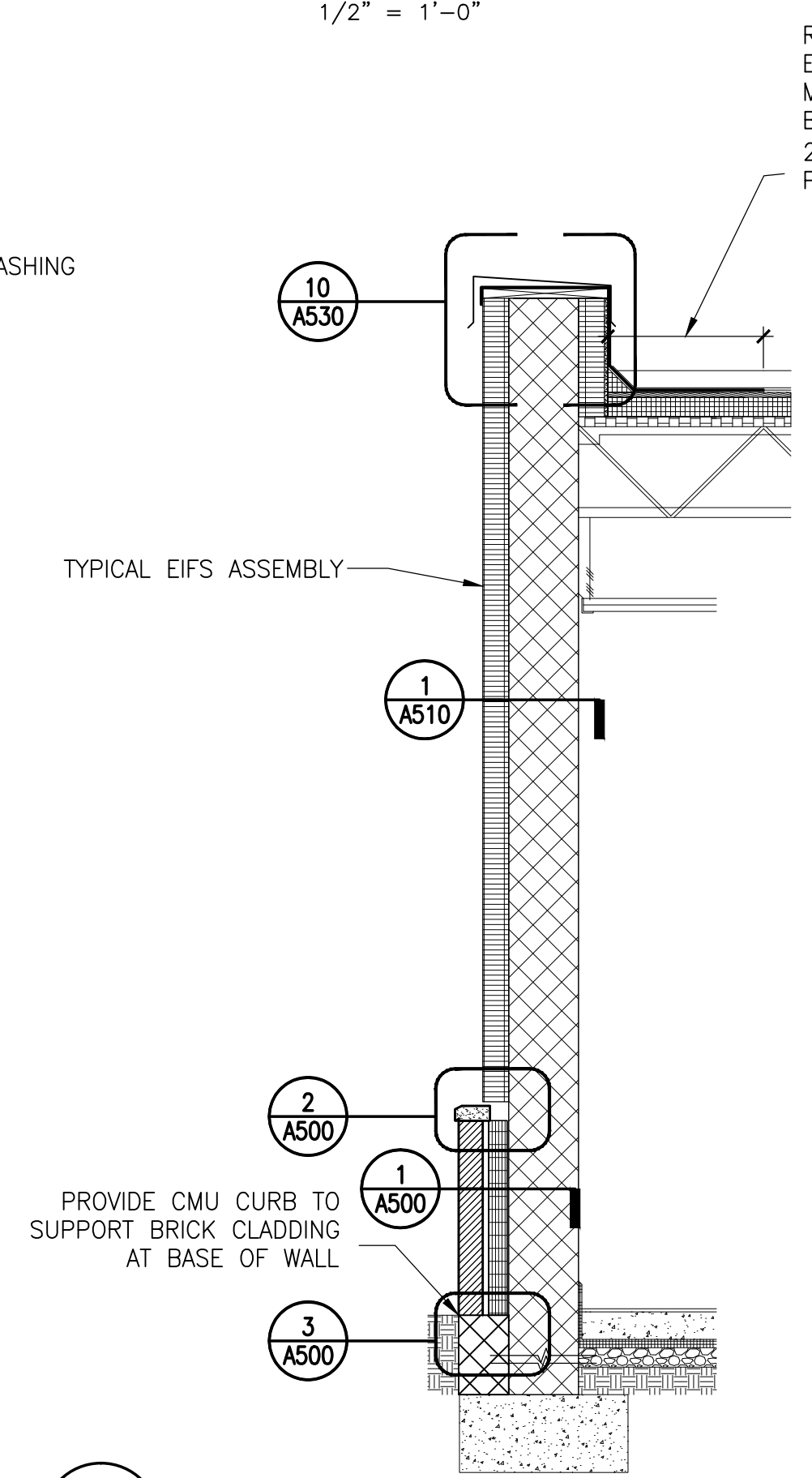
1 SECTION AT LOBBY CLERESTORY – DEMO
1/2" = 1'-0"



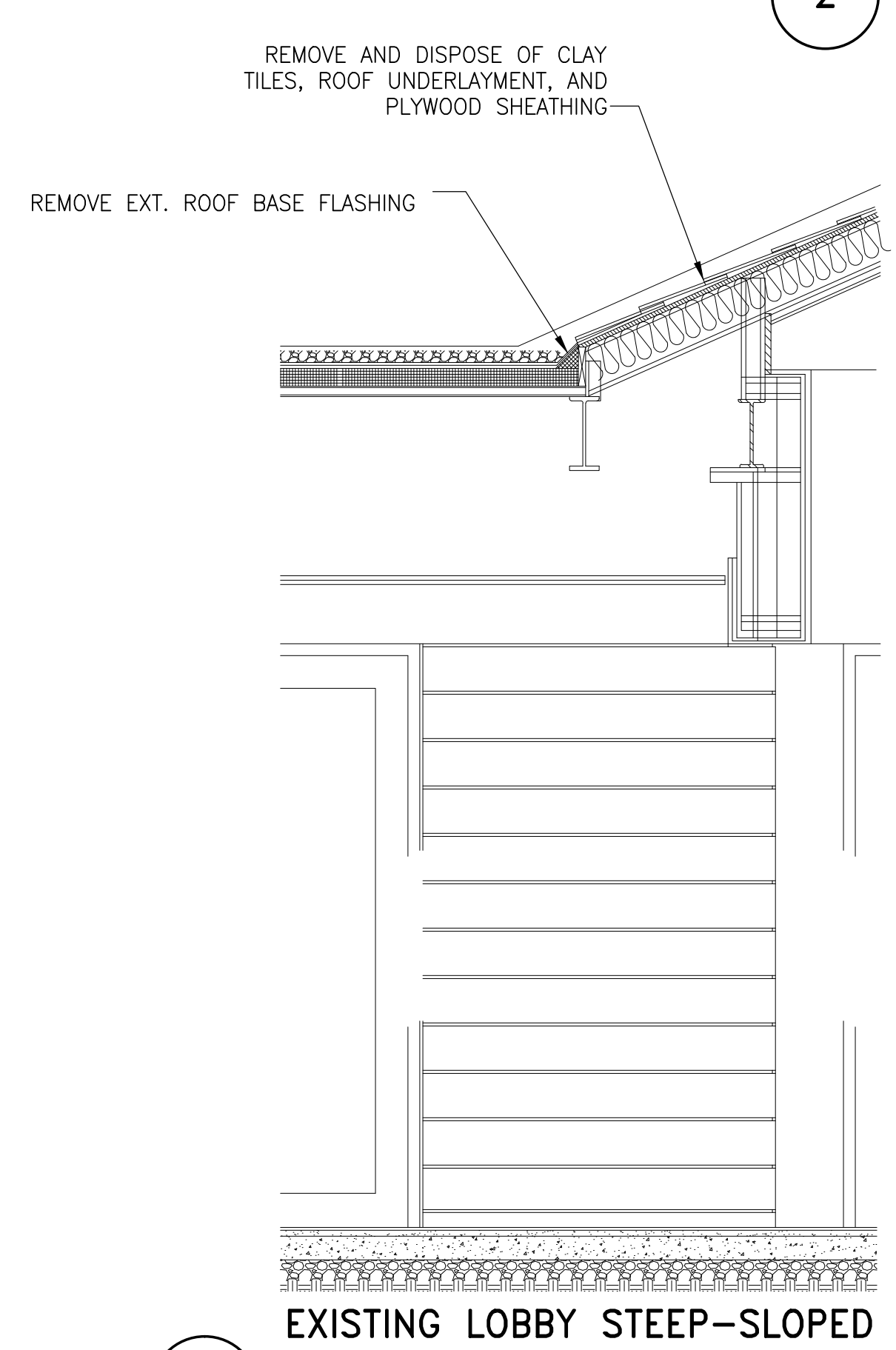
2 SECTION AT LOBBY CLERESTORY – NEW
1/2" = 1'-0"



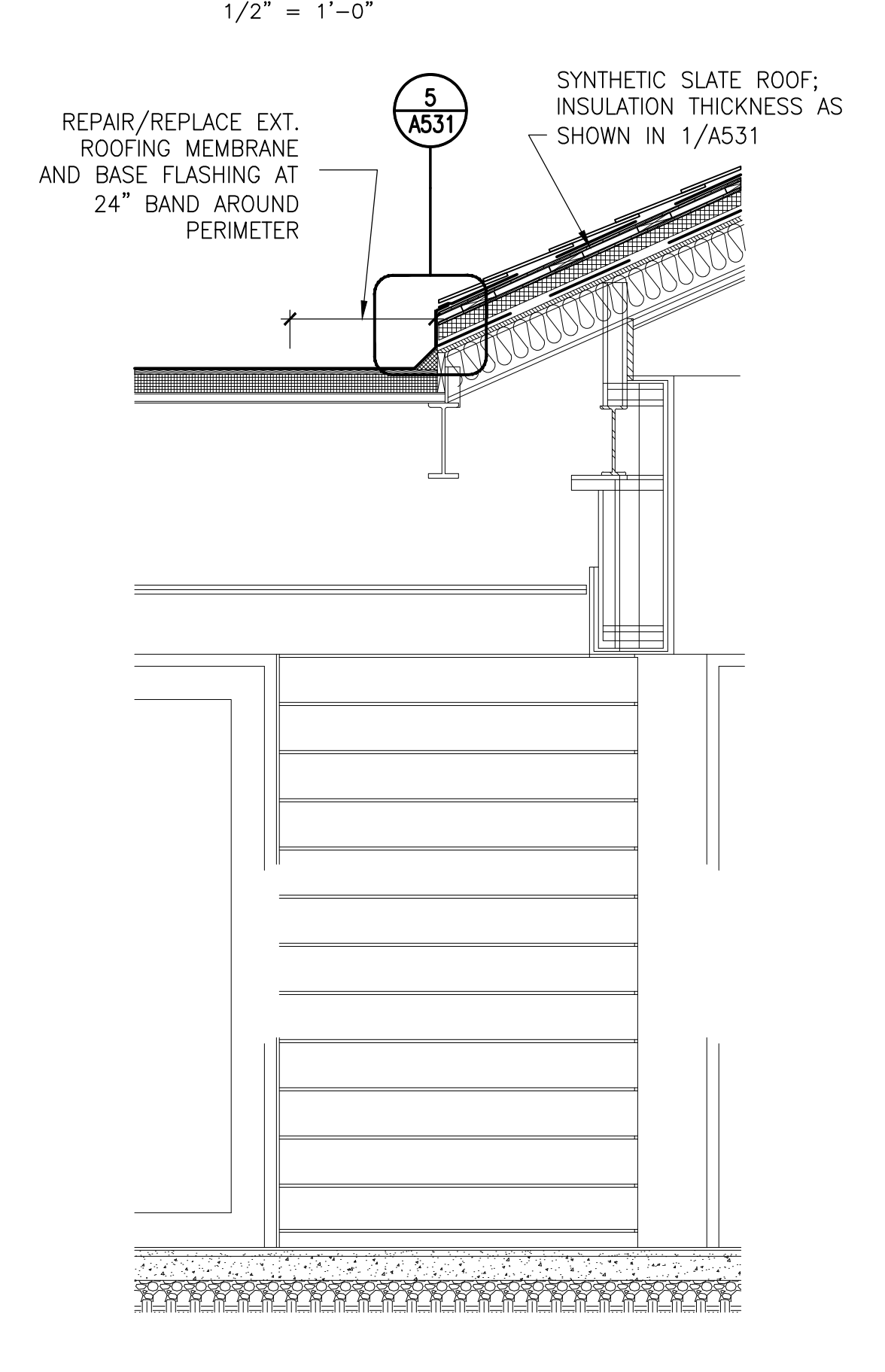
3 EXISTING WALL SECTION – DEMO
1/2" = 1'-0"



4 WALL SECTION – NEW
1/2" = 1'-0"



5 EXISTING LOBBY STEEP-SLOPED ROOF – DEMO
1/2" = 1'-0"



6 LOBBY STEEP-SLOPED ROOF – NEW
1/2" = 1'-0"

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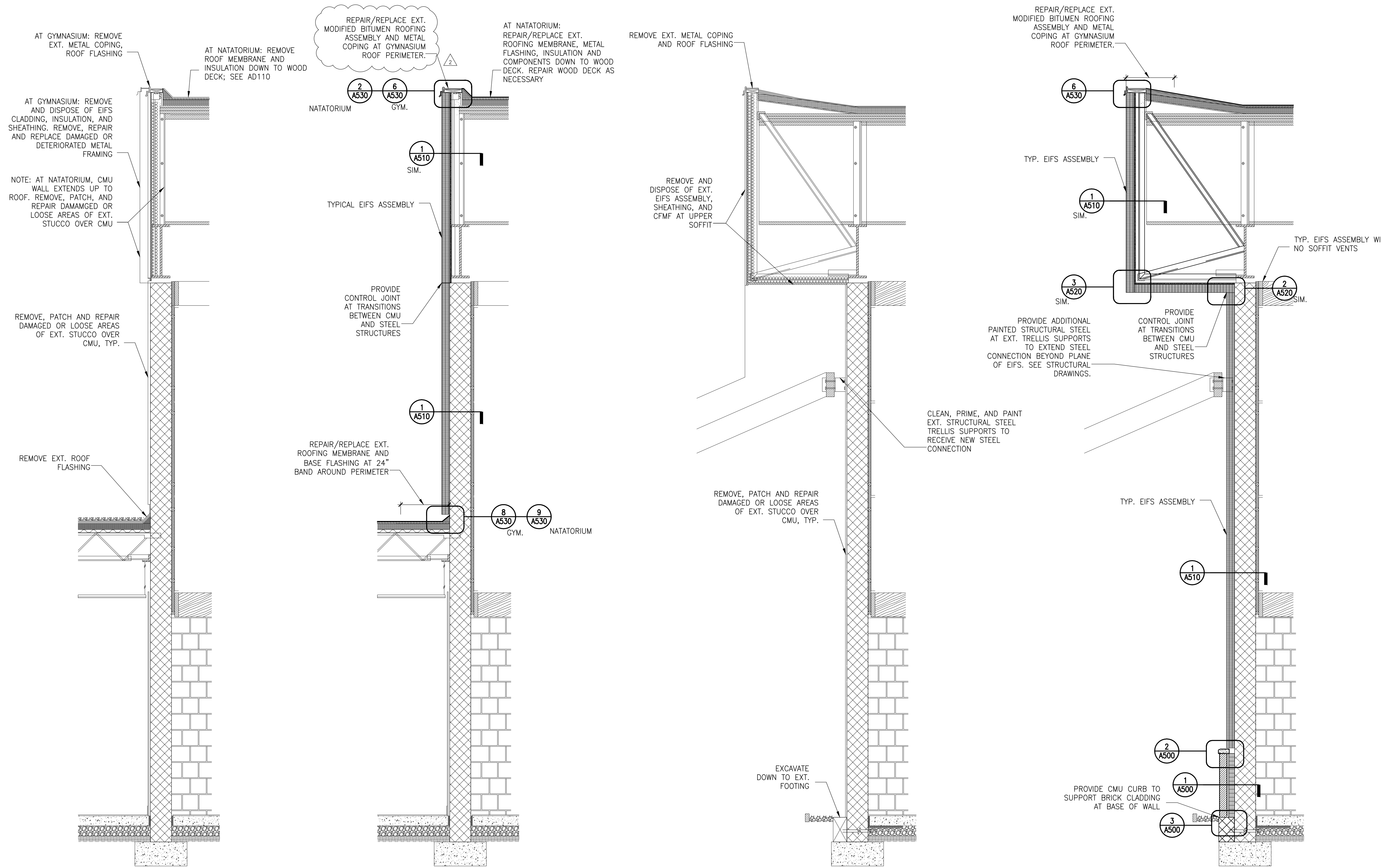
Project

WALL SECTIONS

Drawing Title

| | | |
|----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Drawing No. A404 | | |

PERMIT RESPONSE SET



1 EXT. WALL SECTION AT LOW TO HIGH ROOF - DEMO
1/2" = 1'-0"

2 WALL SECTION AT LOW TO HIGH ROOF - NEW
1/2" = 1'-0"

3 EXT. SECTION AT TRELLIS - DEMO
1/2" = 1'-0"

4 WALL SECTION AT TRELLIS - NEW
1/2" = 1'-0"

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| | 08/28/15 | 100% Design Development | |

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20200 OBSERVATION DRIVE
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Project

WALL SECTIONS

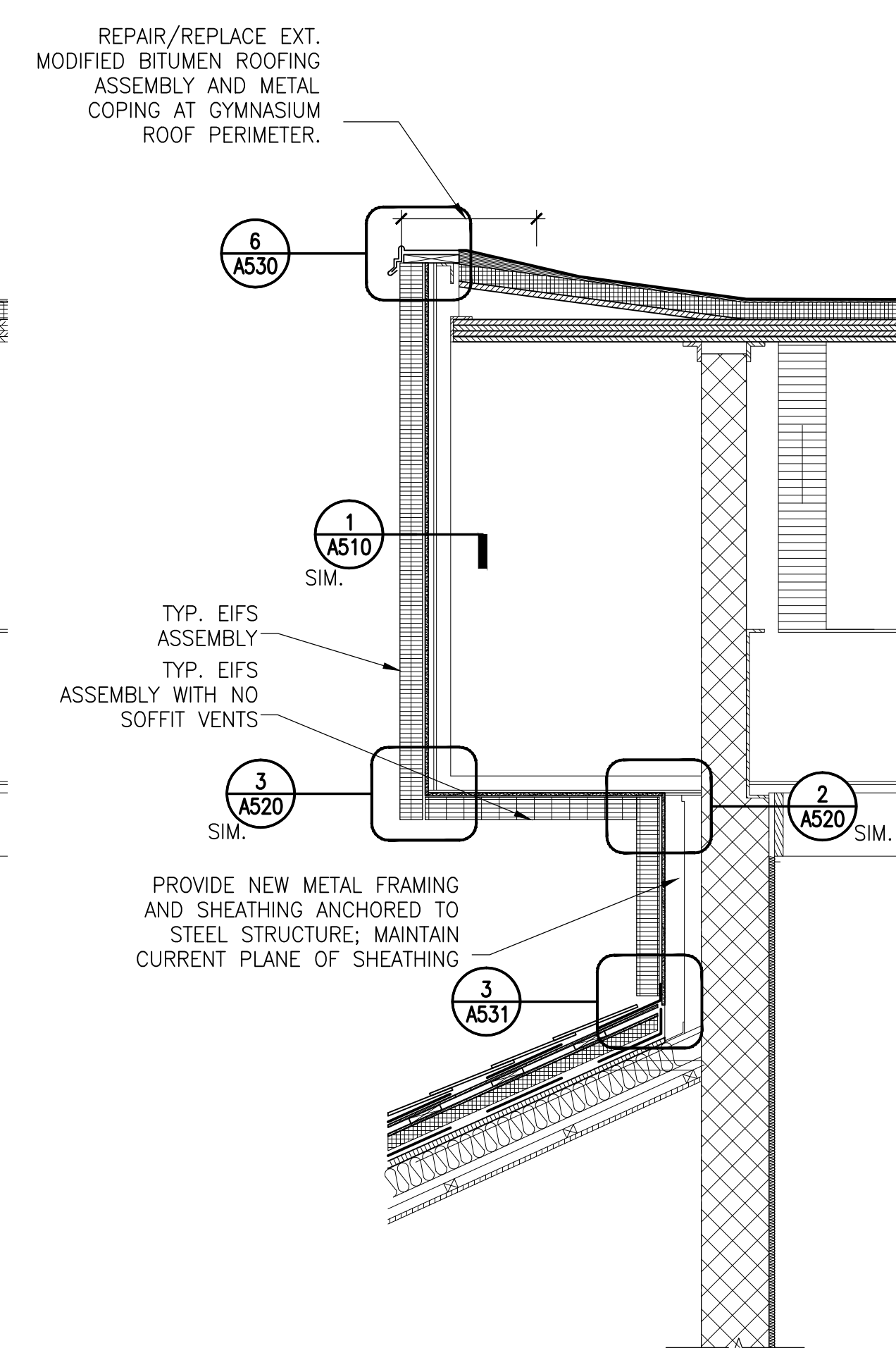
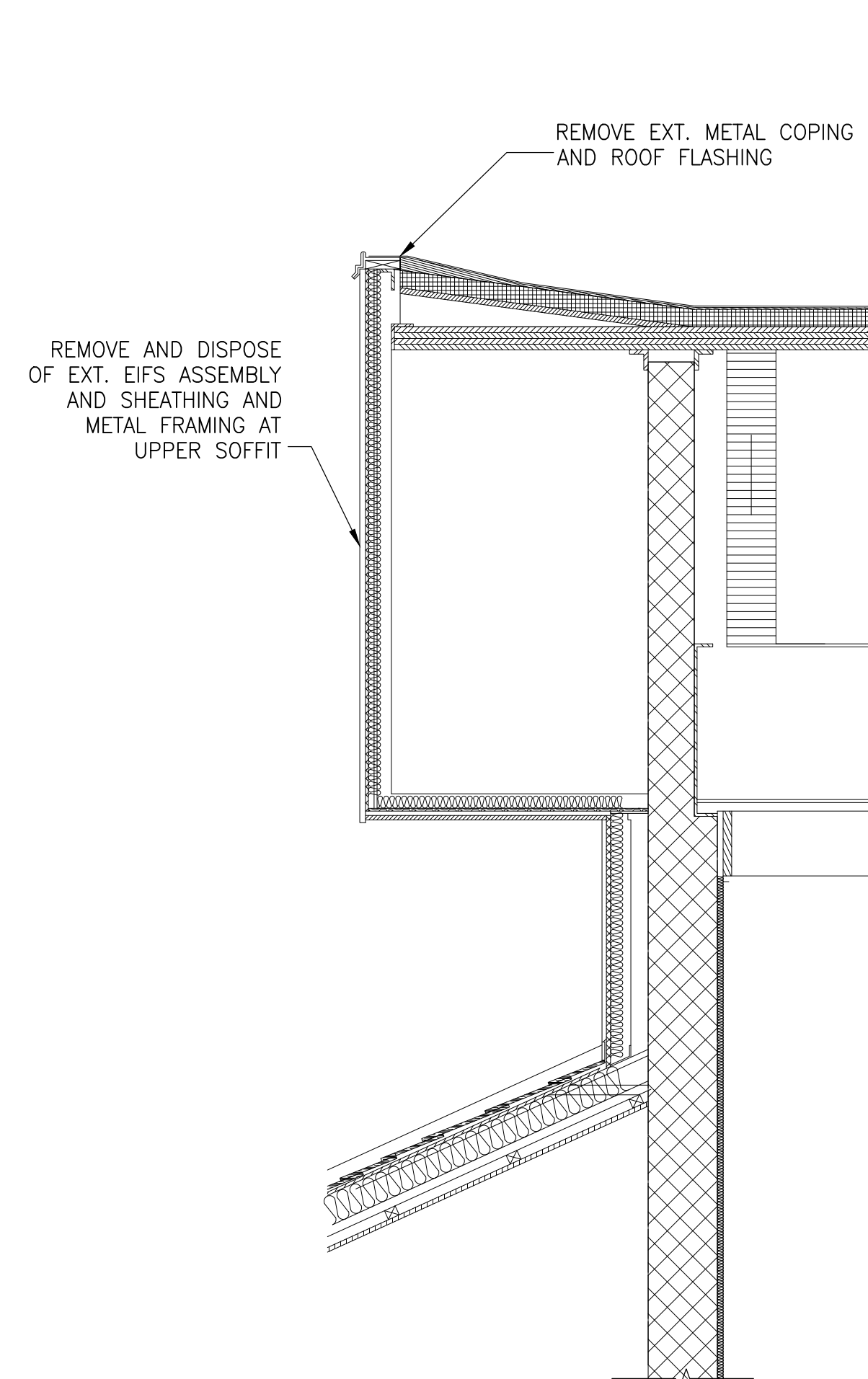
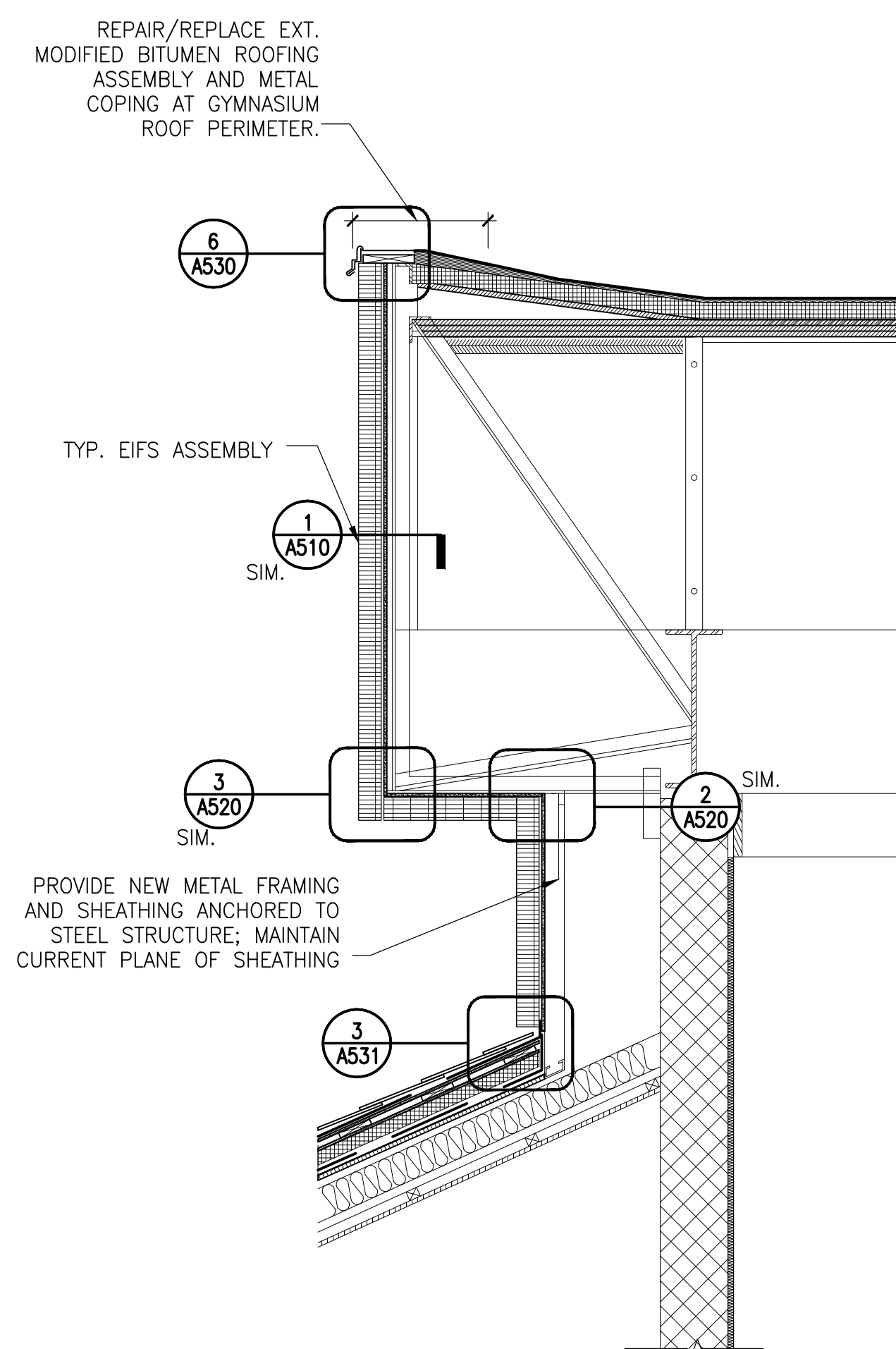
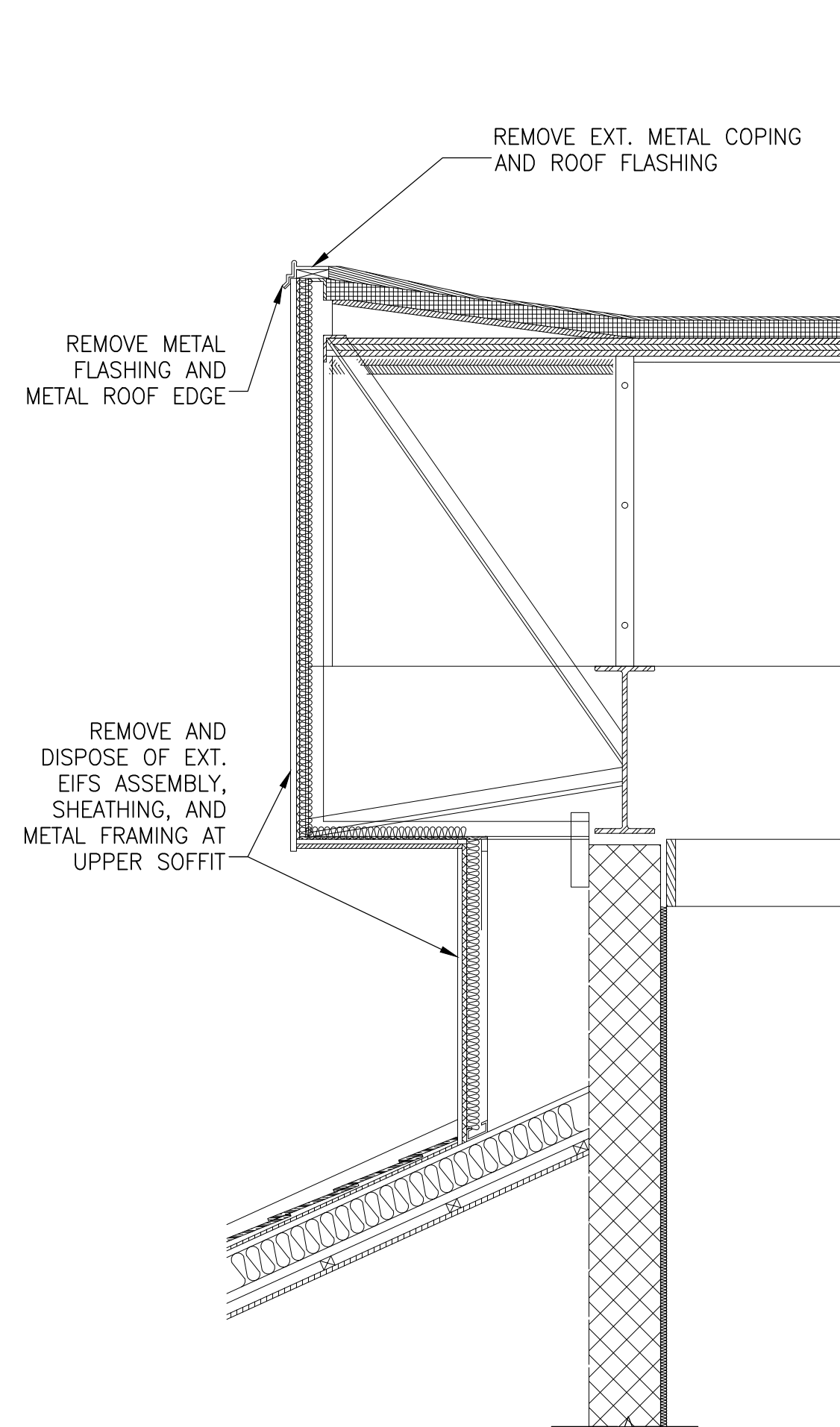
Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Drawing No. | | |

A405

PERMIT RESPONSE SET

| | |
|----------------------------|---|
| Door Hardware Consultant | Ebschloe Consulting Services, Inc. 7820 Carters Run Drive Marshall, VA 20115 540.351.0553 |
| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
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| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |



1 EXISTING WALL SECTION AT CLAY TILE ROOF AND FRAMED BACKUP - DEMO
1/2" = 1'-0"

2 WALL SECTION AT CLAY TILE ROOF AND FRAMED BACKUP - NEW
1/2" = 1'-0"

3 EXISTING WALL SECTION AT CLAY TILE ROOF AND CMU BACKUP - DEMO
1/2" = 1'-0"

4 WALL SECTION AT CLAY TILE ROOF AND CMU BACKUP - NEW
1/2" = 1'-0"

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| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

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GERMANTOWN, MD 20876

Project

WALL SECTIONS

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |

Drawing No.
A406

PERMIT RESPONSE SET

PERMIT RESPONSE SET

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| △ | 01/22/16 | Bid Set | |
| | 11/20/15 | Pricing/Permit Set | |
| | 08/28/15 | 100% Design Development | |

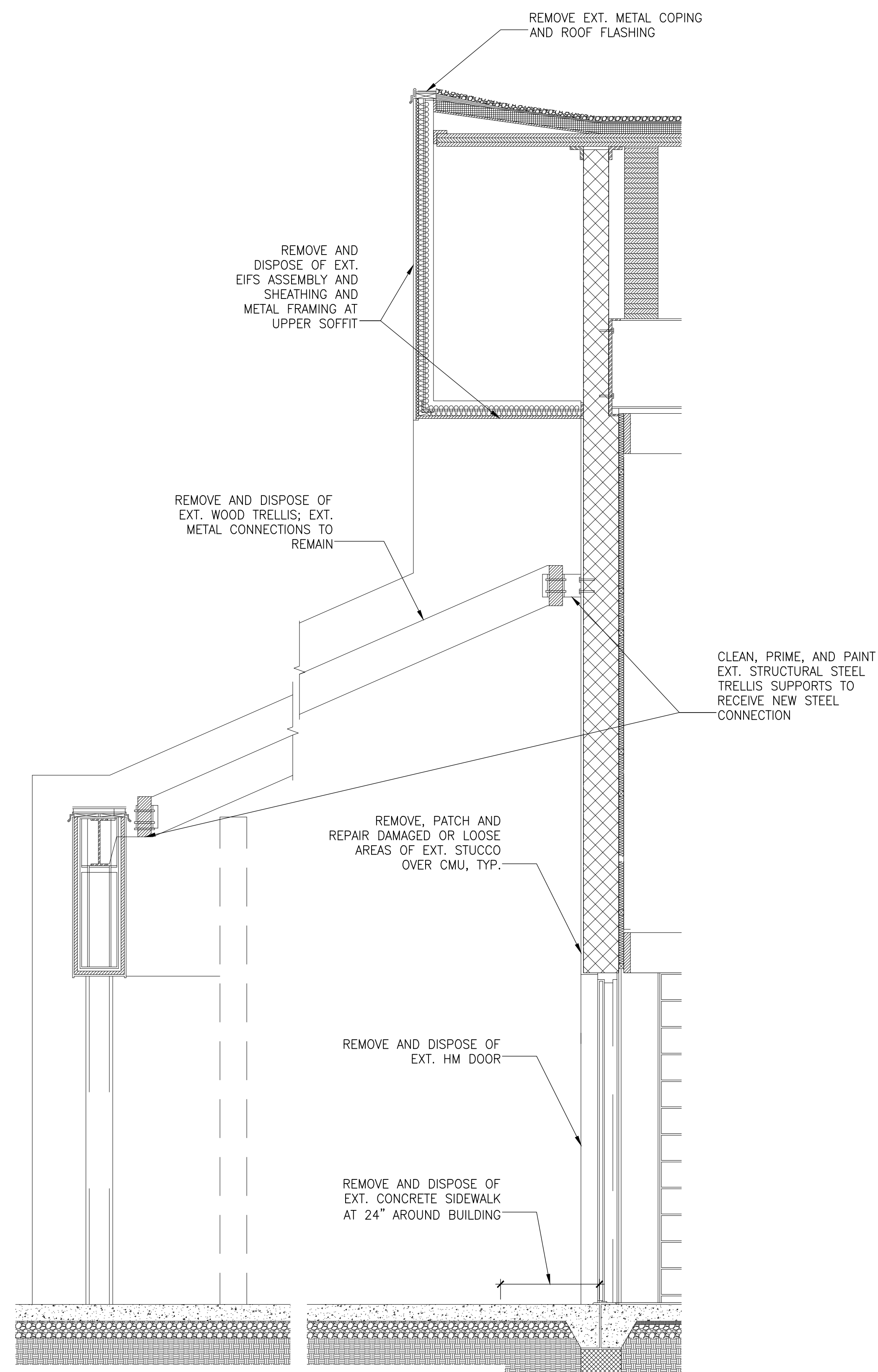
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GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

Project

WALL SECTIONS

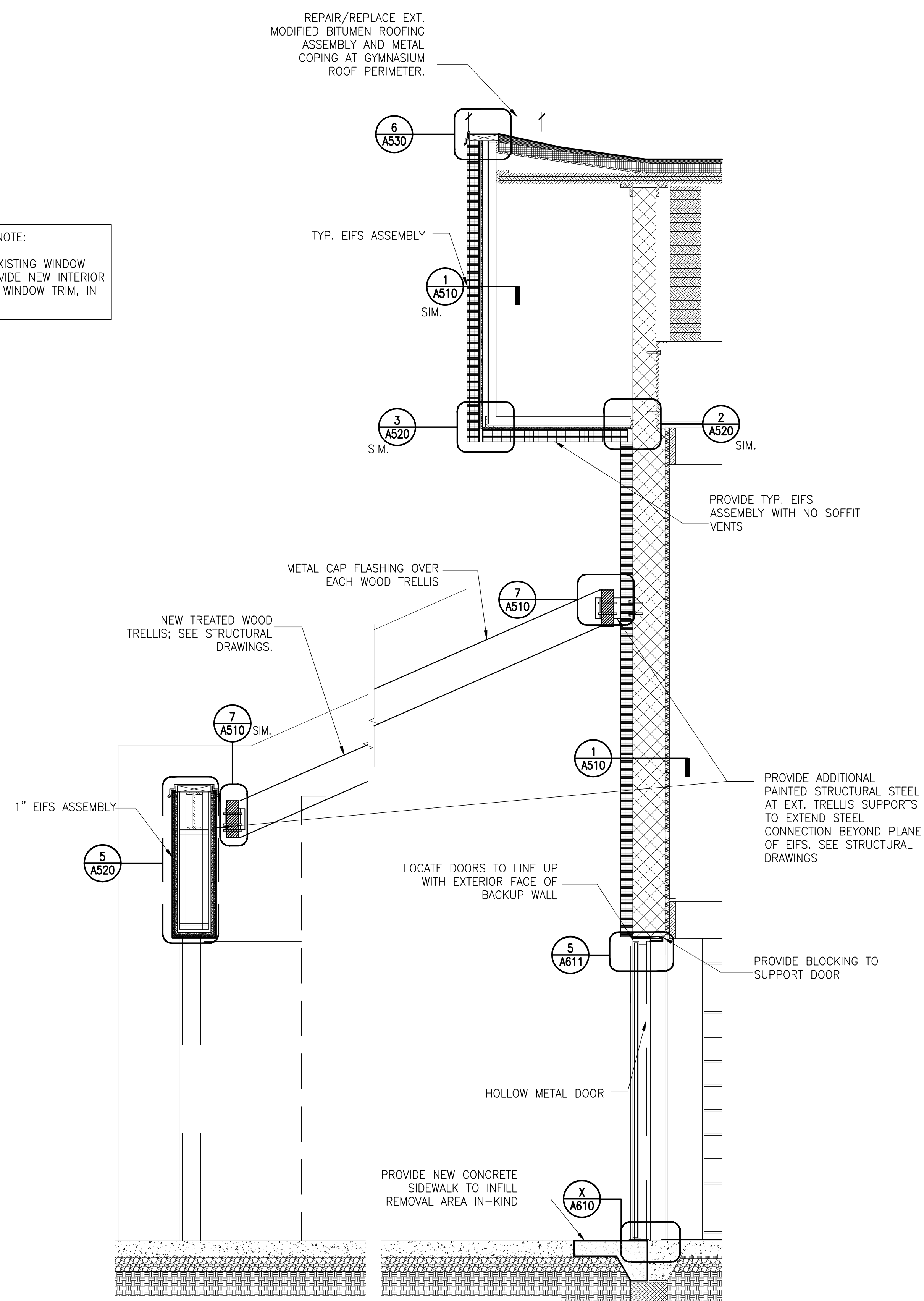
Drawing Title

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|--------------------------|-----------------|----------------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A407 |



1 EXISTING WALL SECTION AT WOOD TRELLIS OVER HOLLOW METAL DOOR - DEMO
1/2" = 1'-0"

GENERAL NOTE:
REMOVE EXISTING WINDOW TRIM. PROVIDE NEW INTERIOR ALUMINUM WINDOW TRIM, IN KIND



2 WALL SECTION AT WOOD TRELLIS OVER HOLLOW METAL DOOR - NEW
1/2" = 1'-0"

PERMIT RESPONSE SET

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Project

WALL SECTIONS

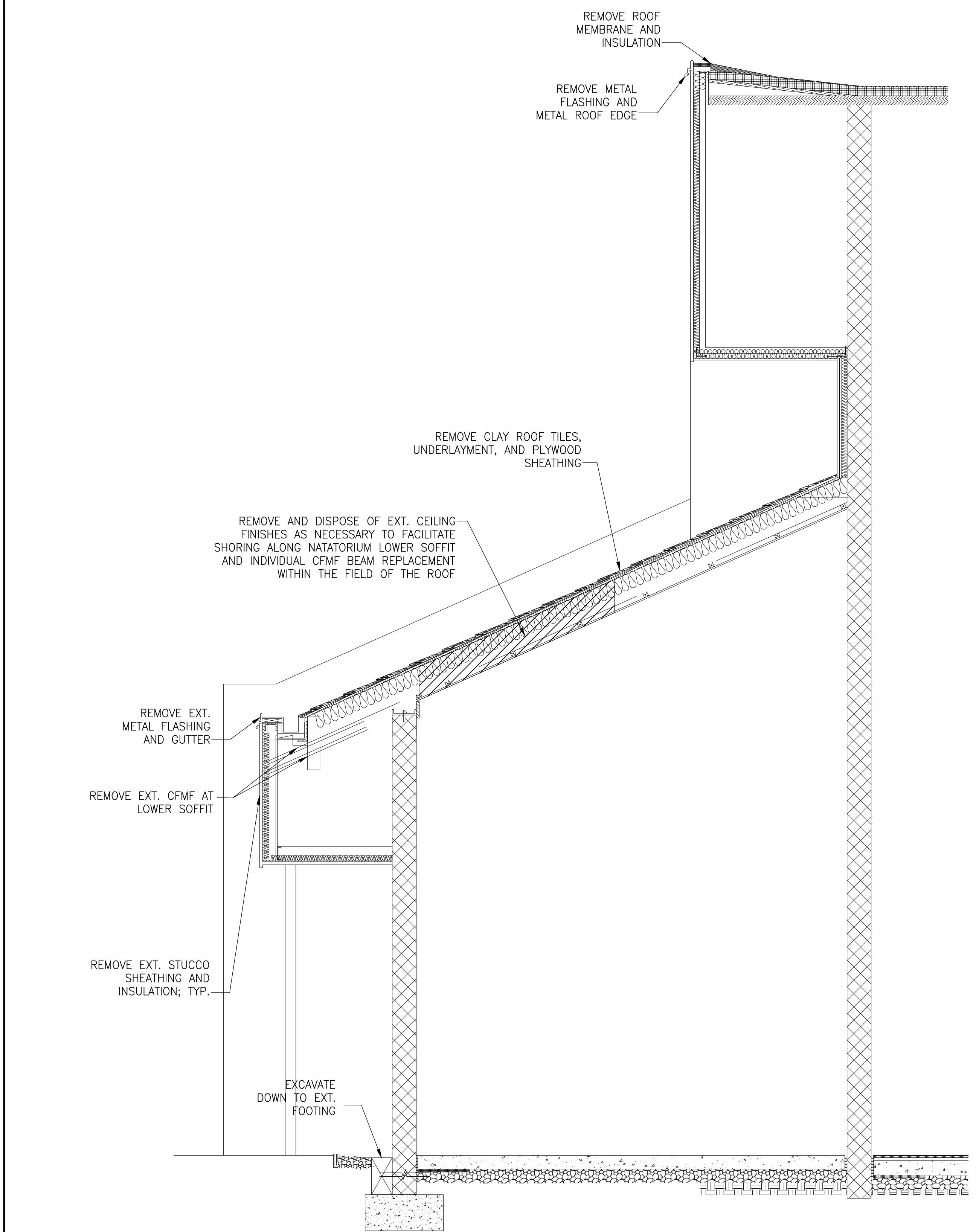
Drawing Title

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|--------------------------|-----------------|-------------------|
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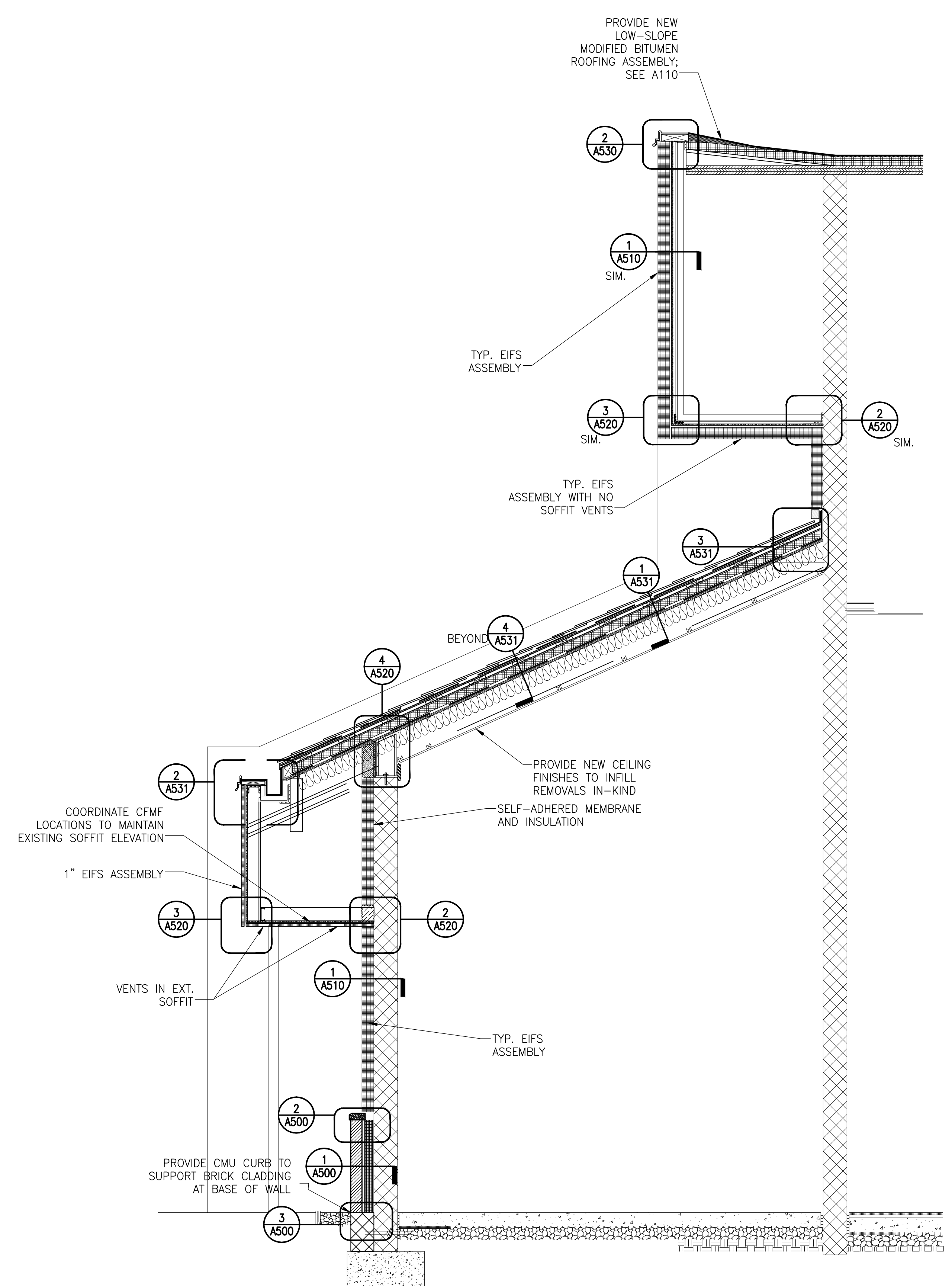
Seal

Drawing No.
A408

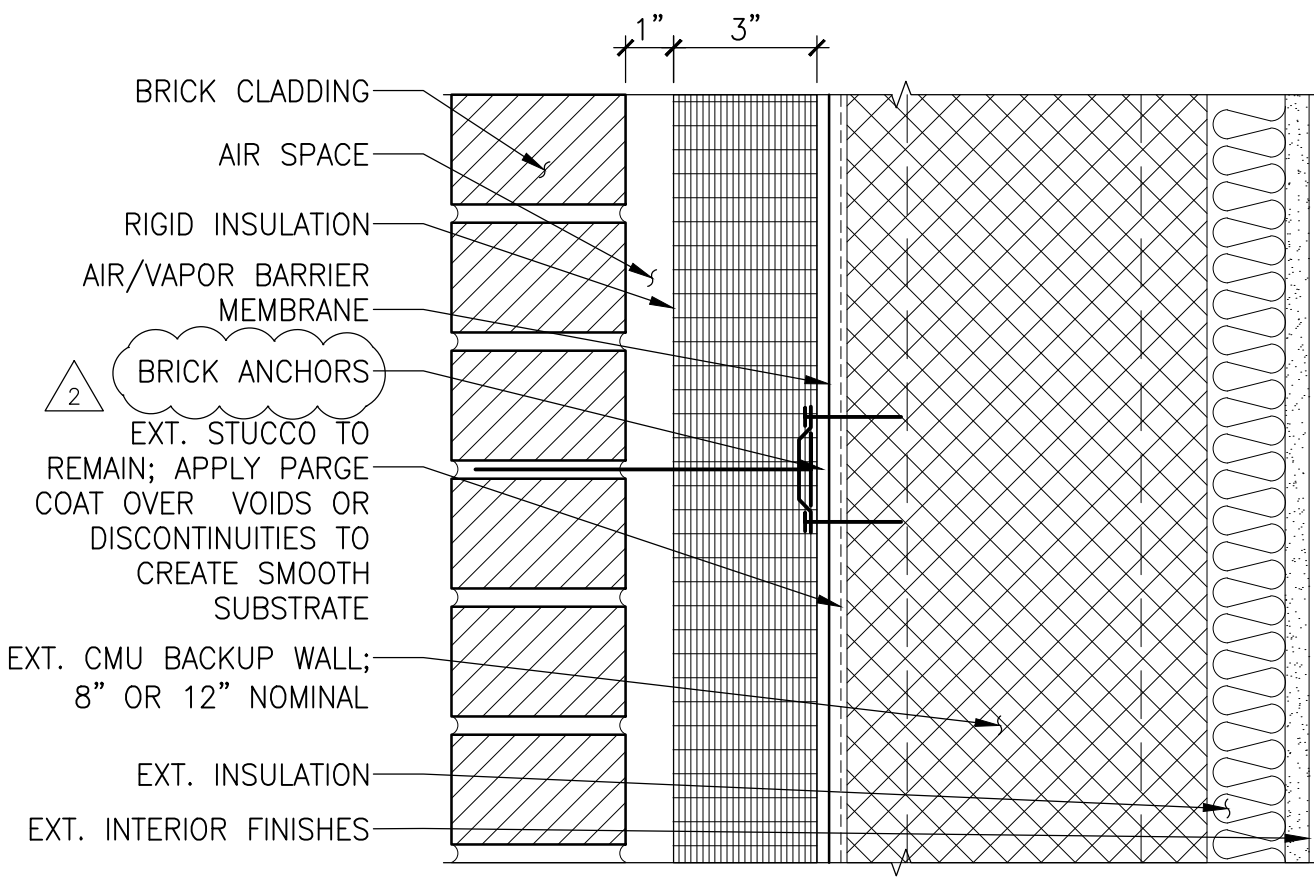
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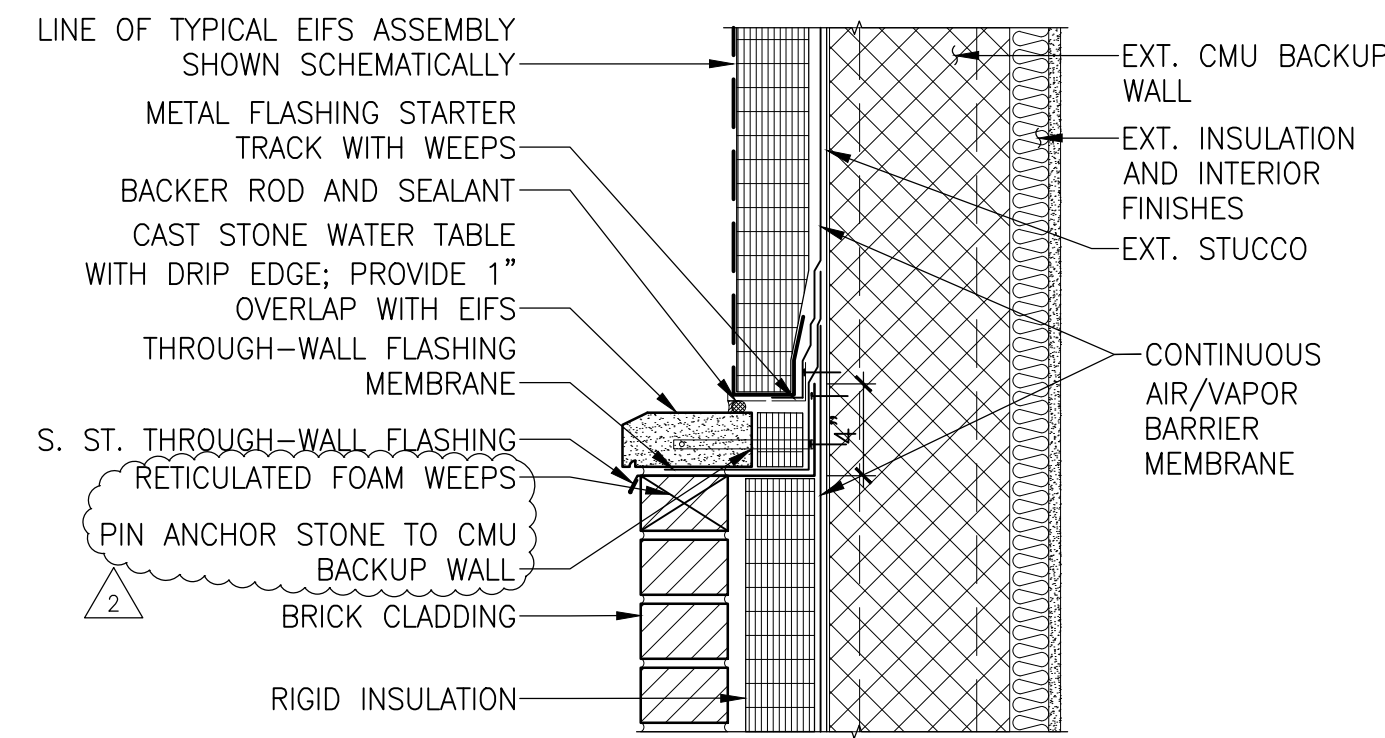
1 EXISTING WALL SECTION AT NATATORIUM - DEMO
 1/2"=1'-0"



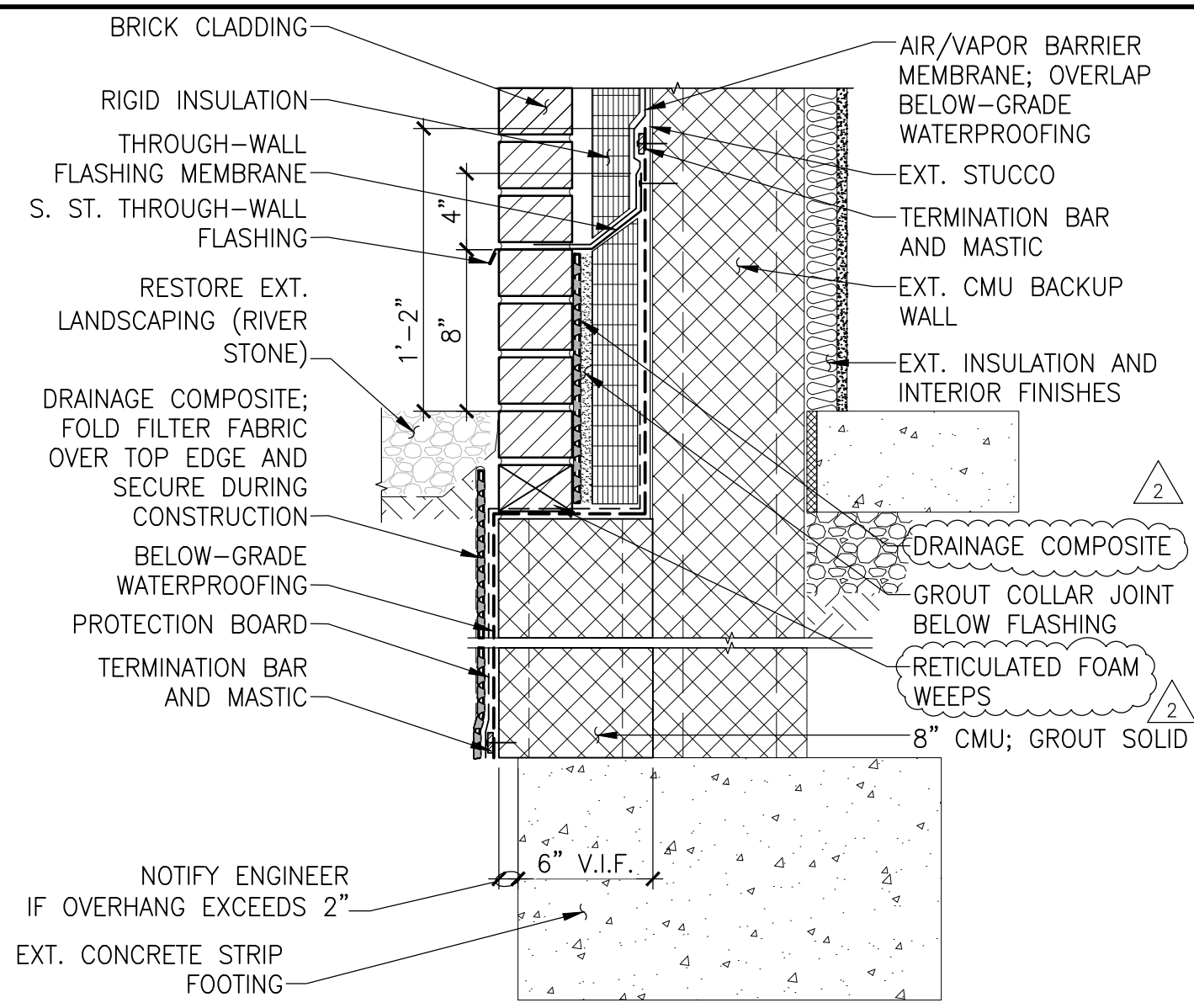
2 WALL SECTION AT POOL - NATATORIUM
 1/2"=1'-0"



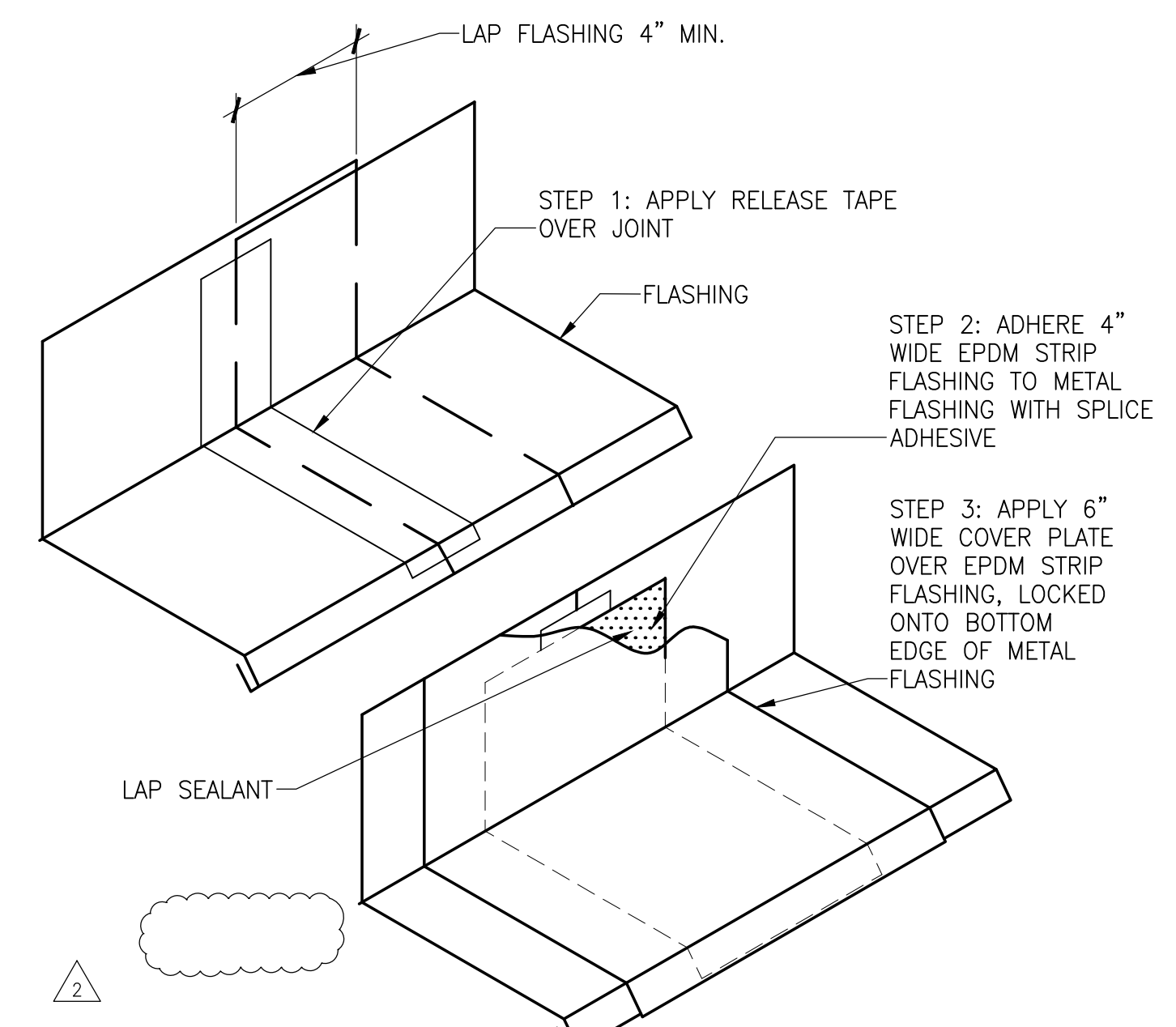
1 TYPICAL BRICK WALL SECTION
3"=1'-0"



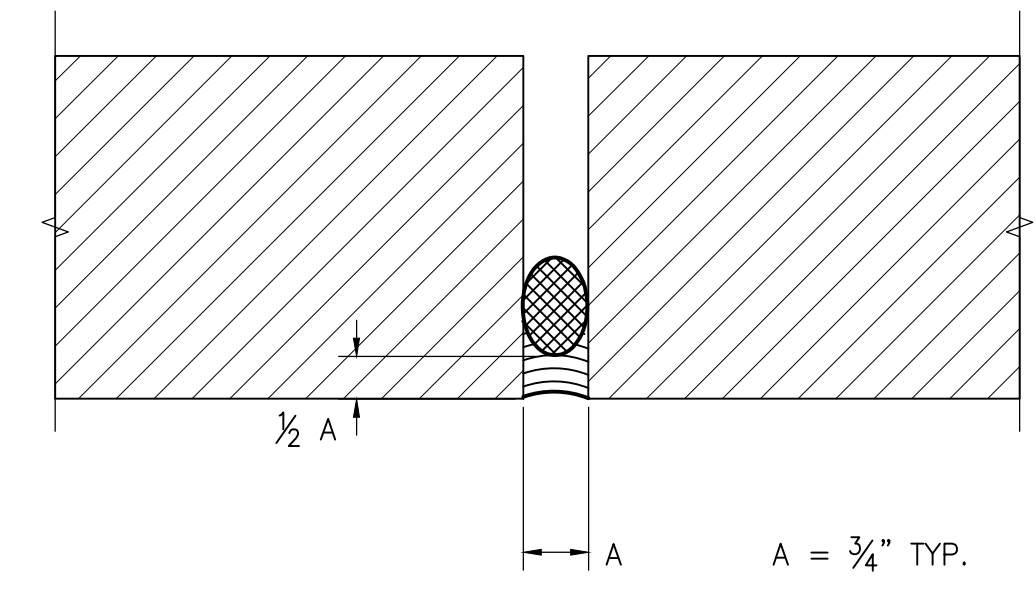
2 BRICK TO EIFS TRANSITION
1 1/2" = 1'-0"



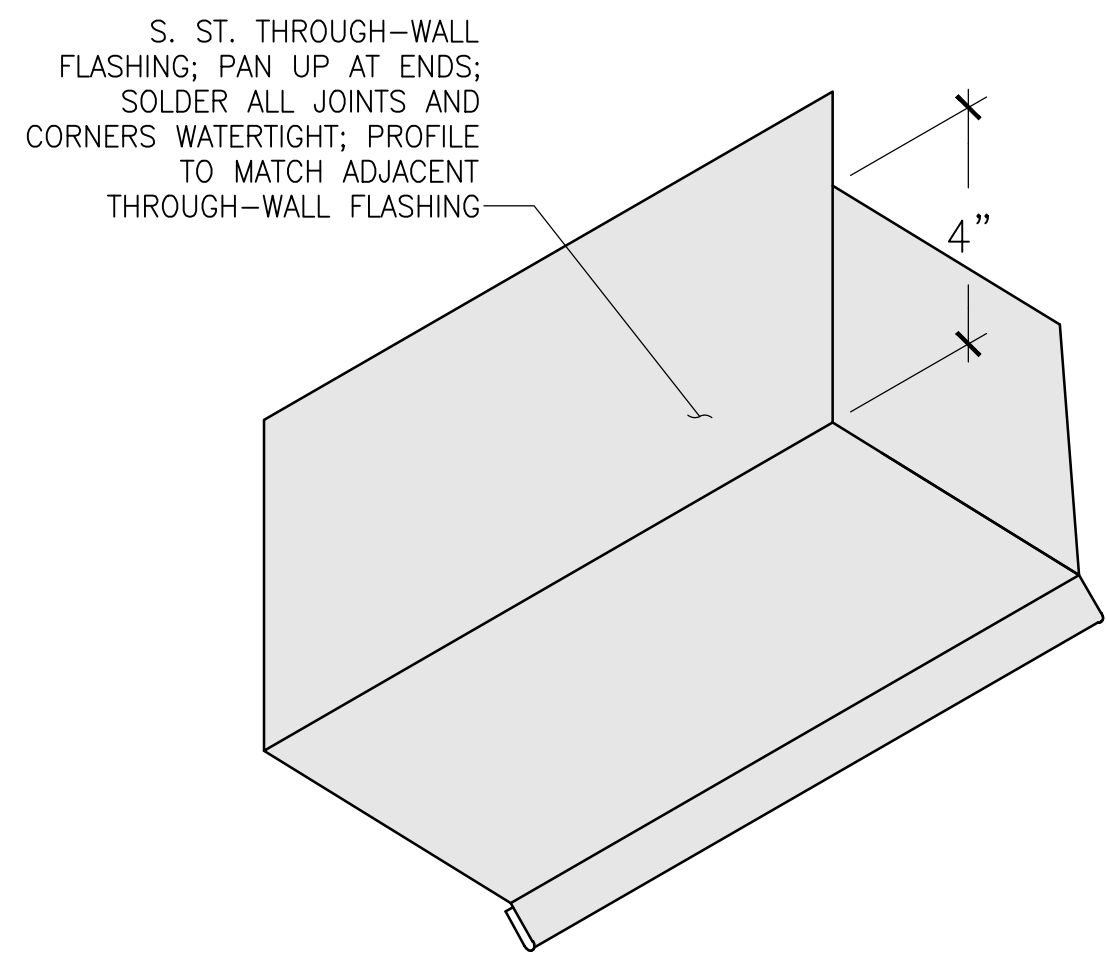
3 BRICK CLADDING AT GRADE
1 1/2" = 1'-0"



4 TYPICAL METAL FLASHING SPLICE JOINT
N.T.S.



5 TYPICAL SEALANT JOINT
N.T.S.



6 TYPICAL END DAM
N.T.S.

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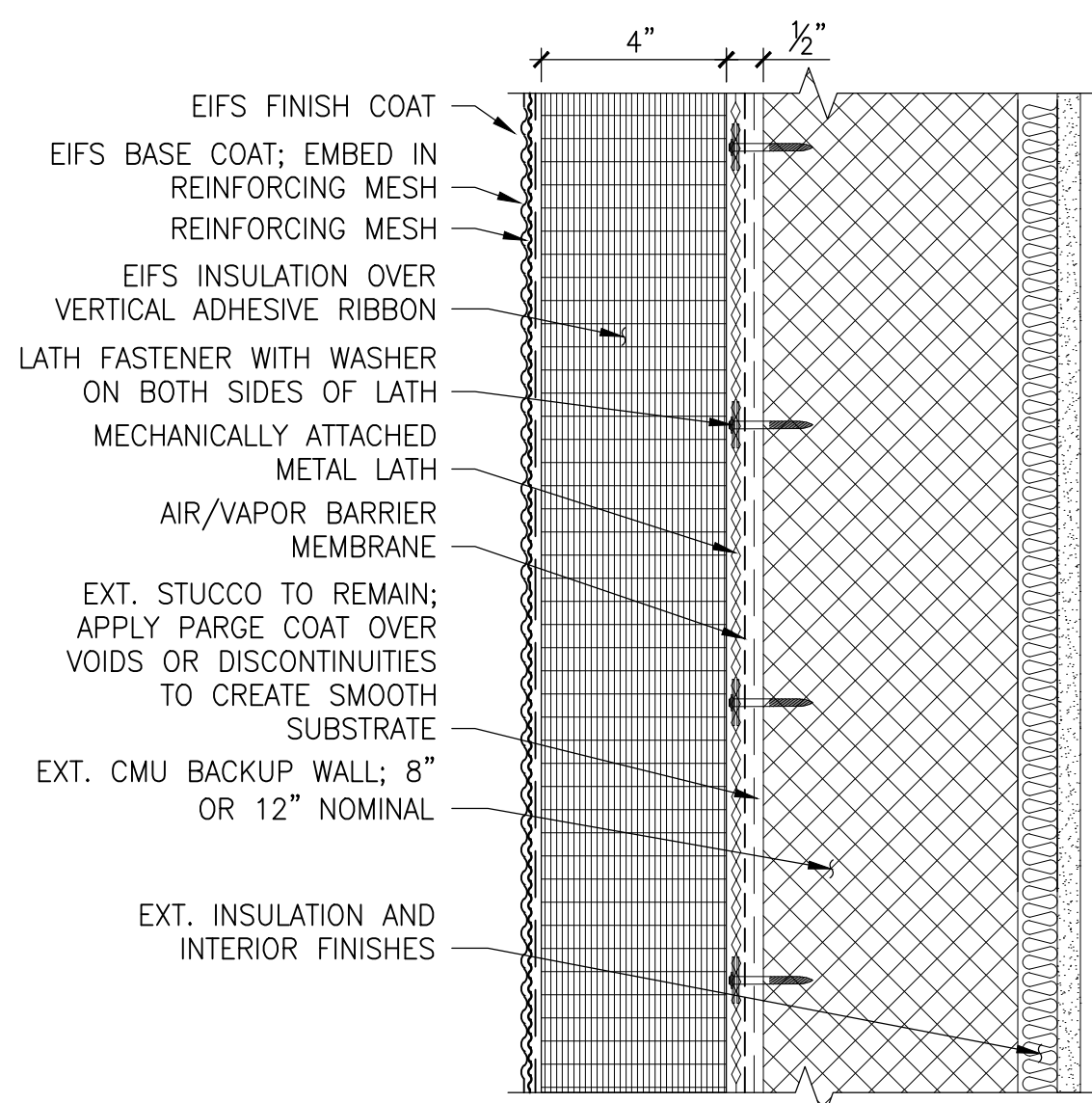
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GERMANTOWN CAMPUS
20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876**

**TYPICAL MASONRY
AND FLASHING
DETAILS**

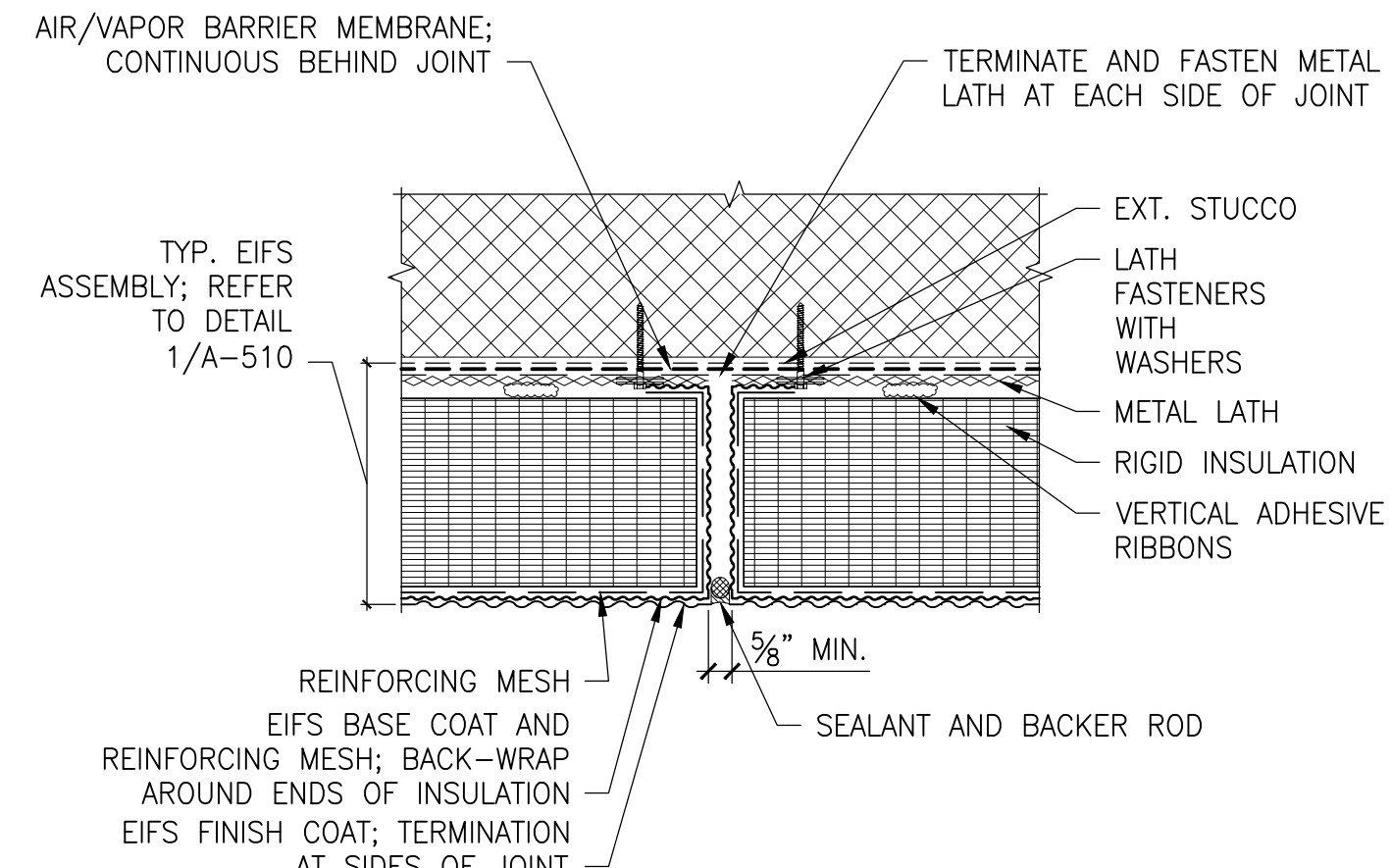
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| | | |
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| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn BSR/CEM | Approved DSS | Scale AS SHOWN |
| Seal | | Drawing No. A500 |

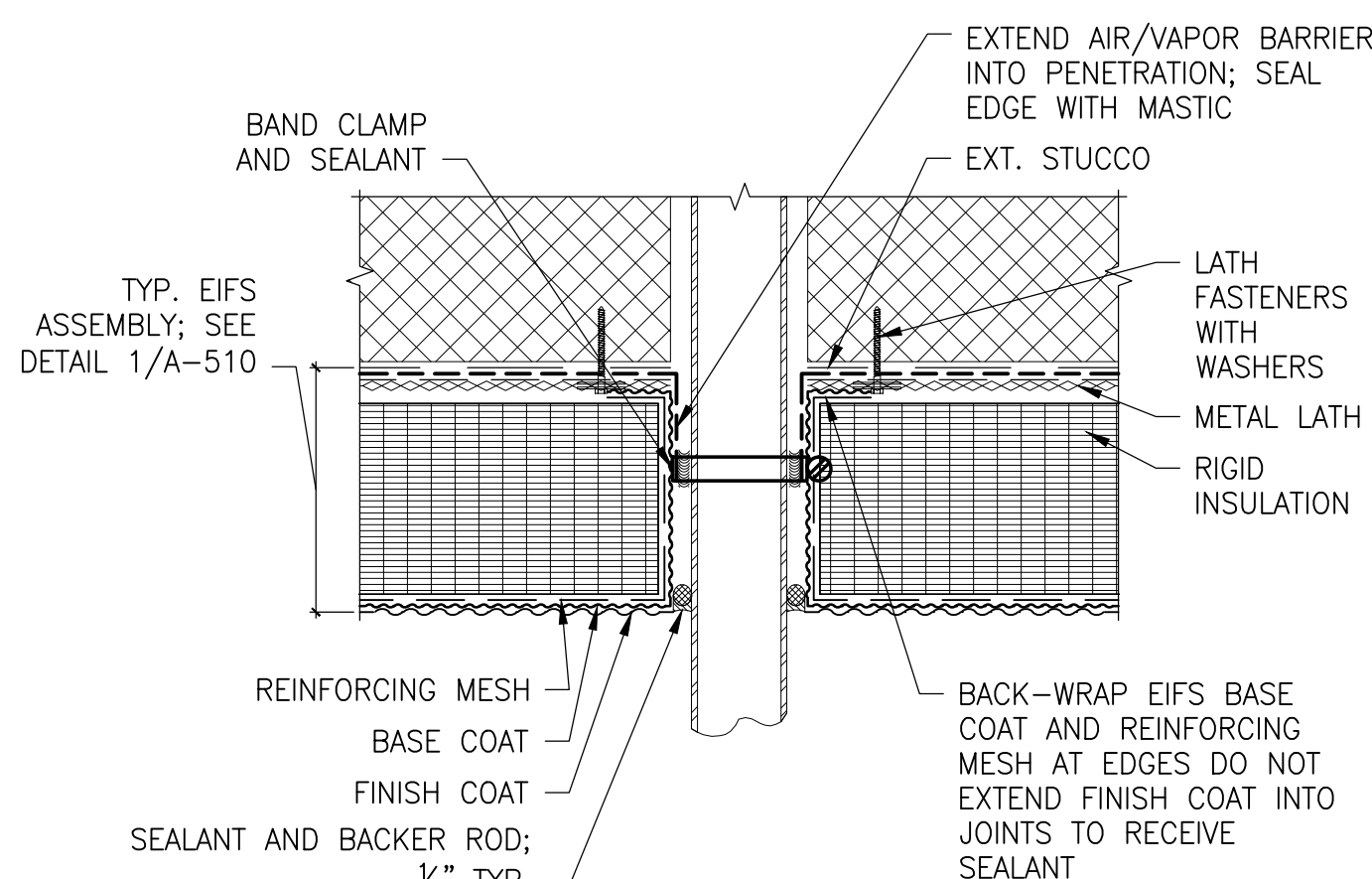
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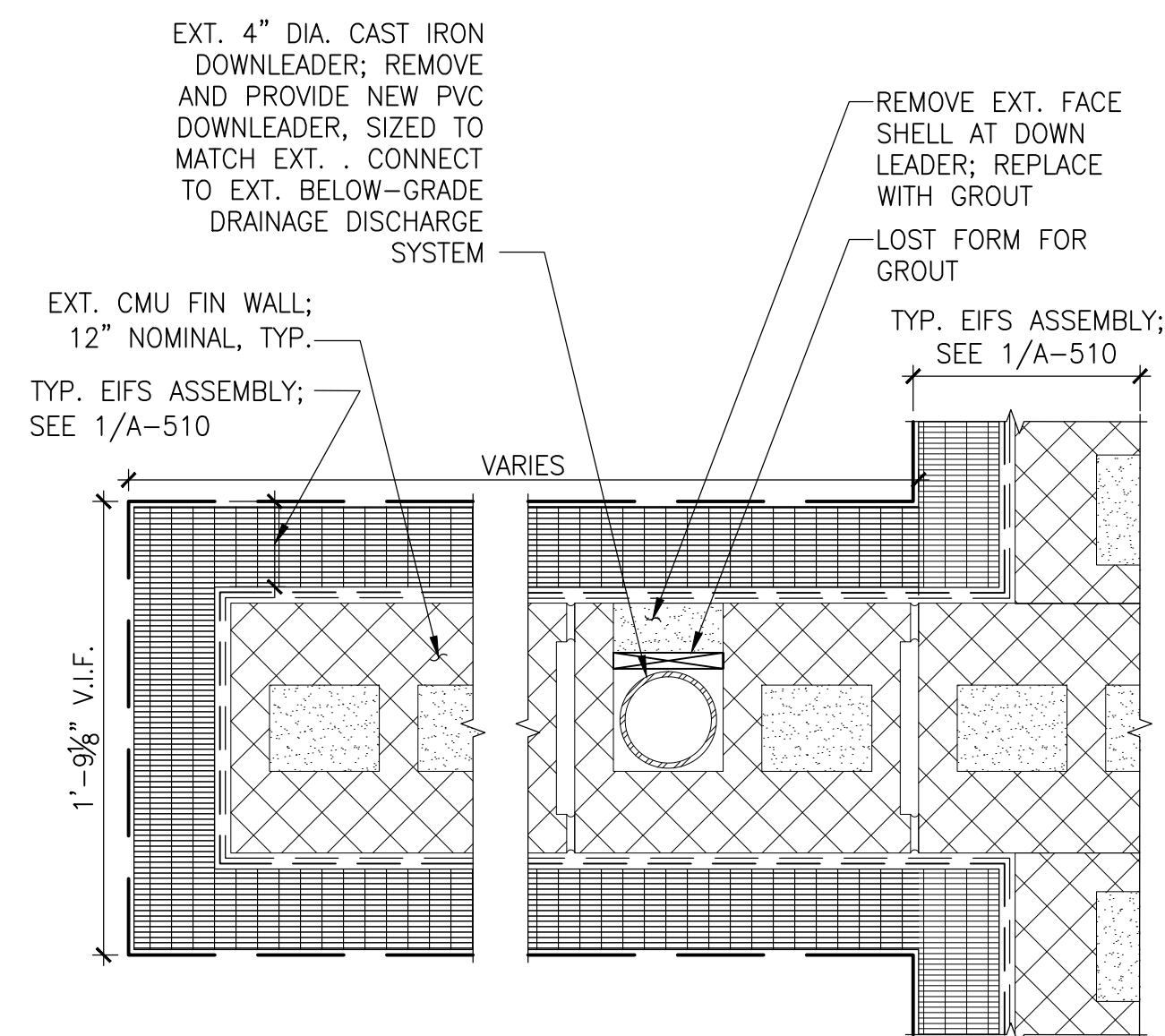
1 TYPICAL EIFS CLADDING - OVER MASONRY
3" = 1'-0"



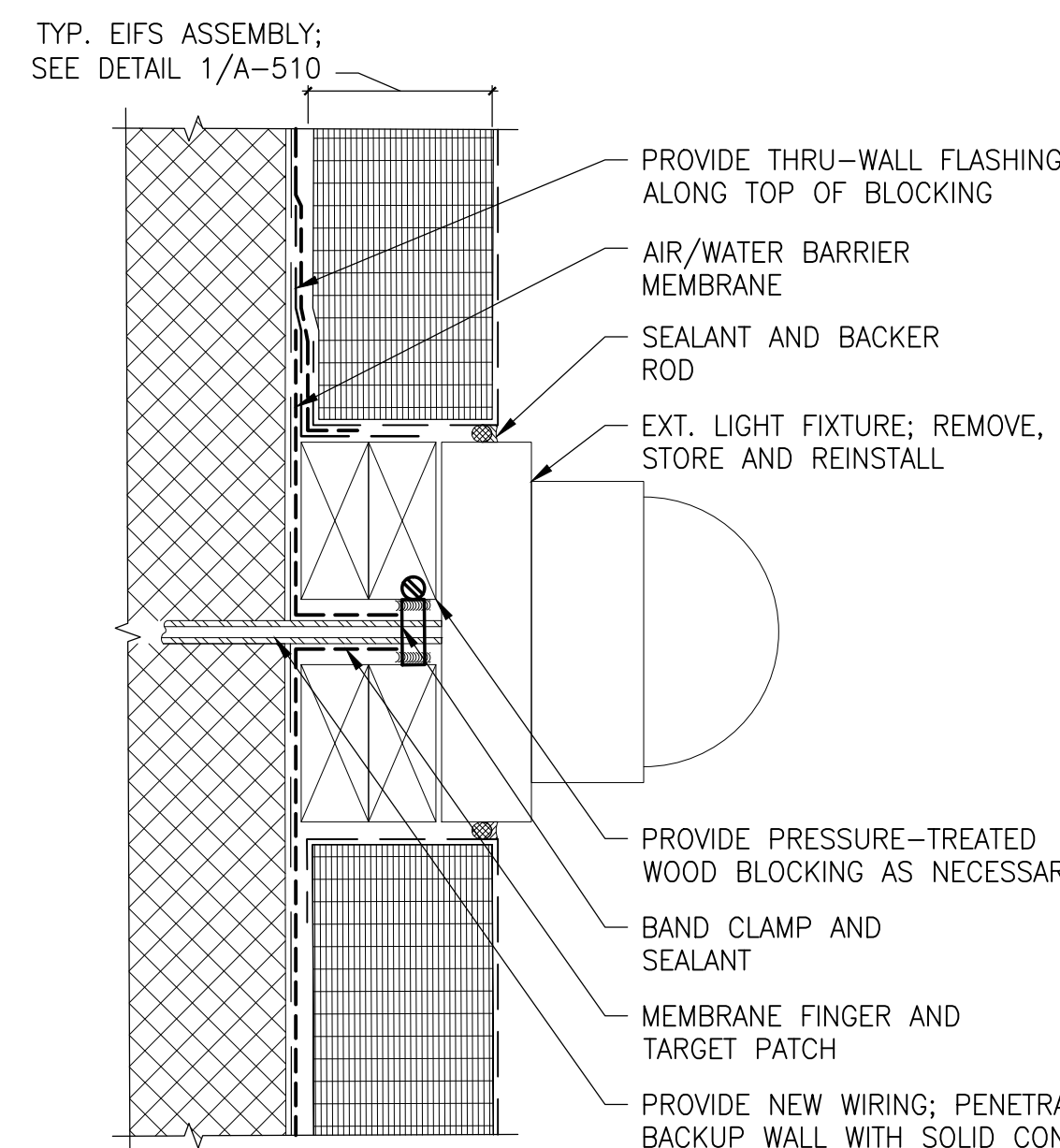
2 TYPICAL EIFS CONTROL JOINT - PLAN DETAIL
3" = 1'-0"



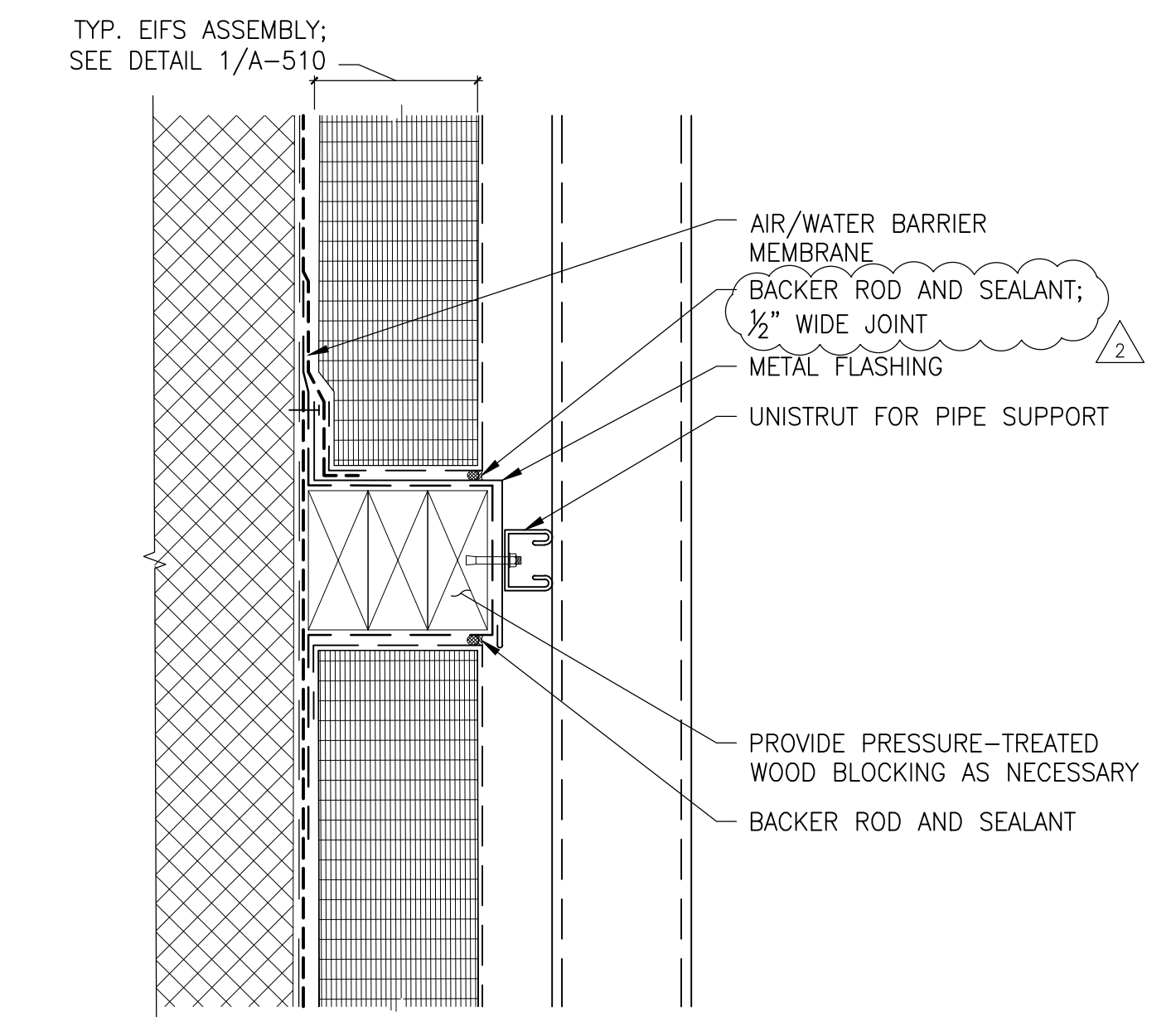
3 TYPICAL PENETRATION THRU EIFS
3" = 1'-0"



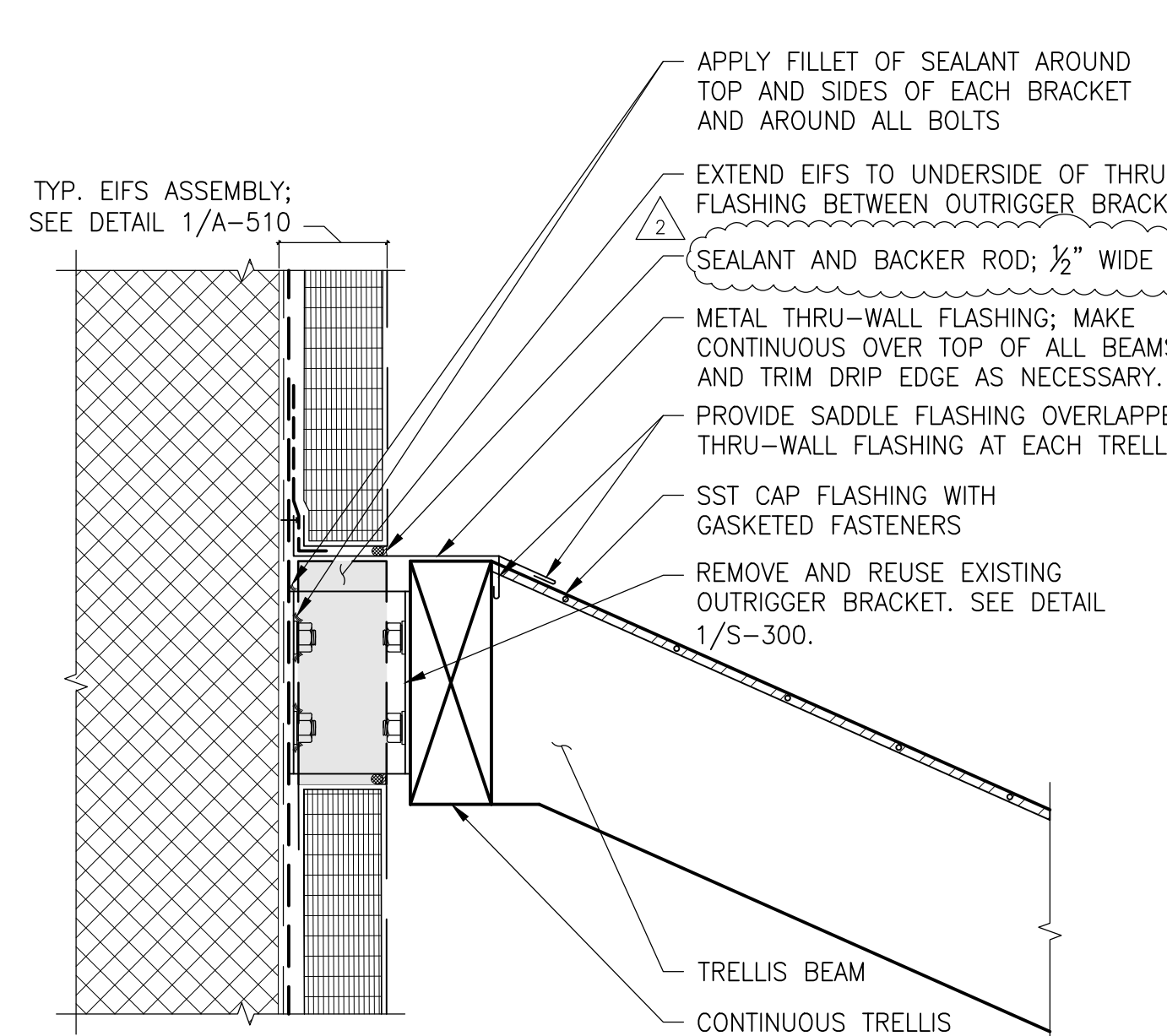
4 PLAN DETAIL: FIN WALL WITH DOWNLEADER
NOTE: BRICK MASONRY BELOW EIFS WILL FOLLOW SIMILAR PLAN/LAYOUT
1 1/2" = 1'-0"



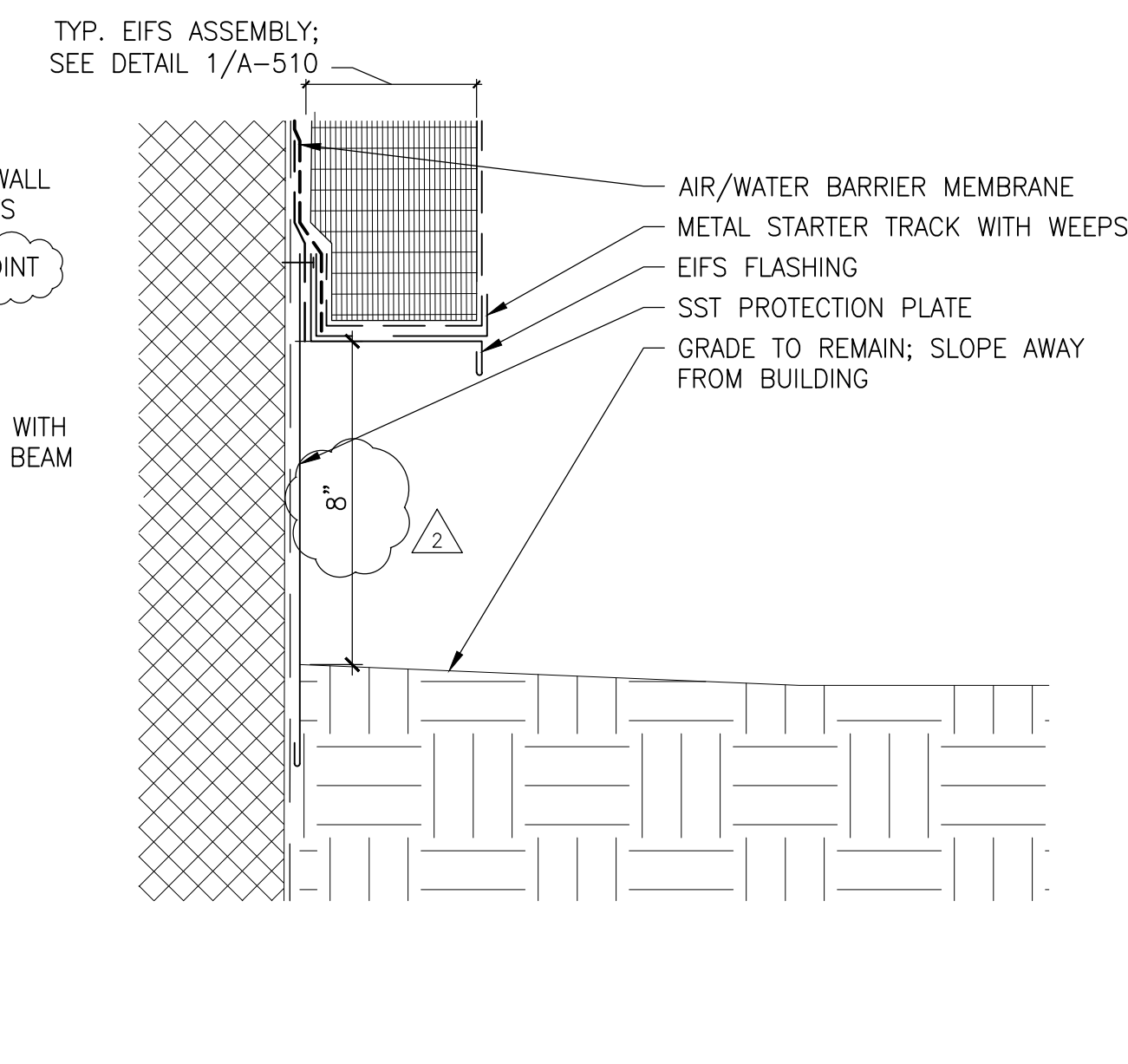
5 WALL-MOUNTED LIGHT FIXTURE
3" = 1'-0"



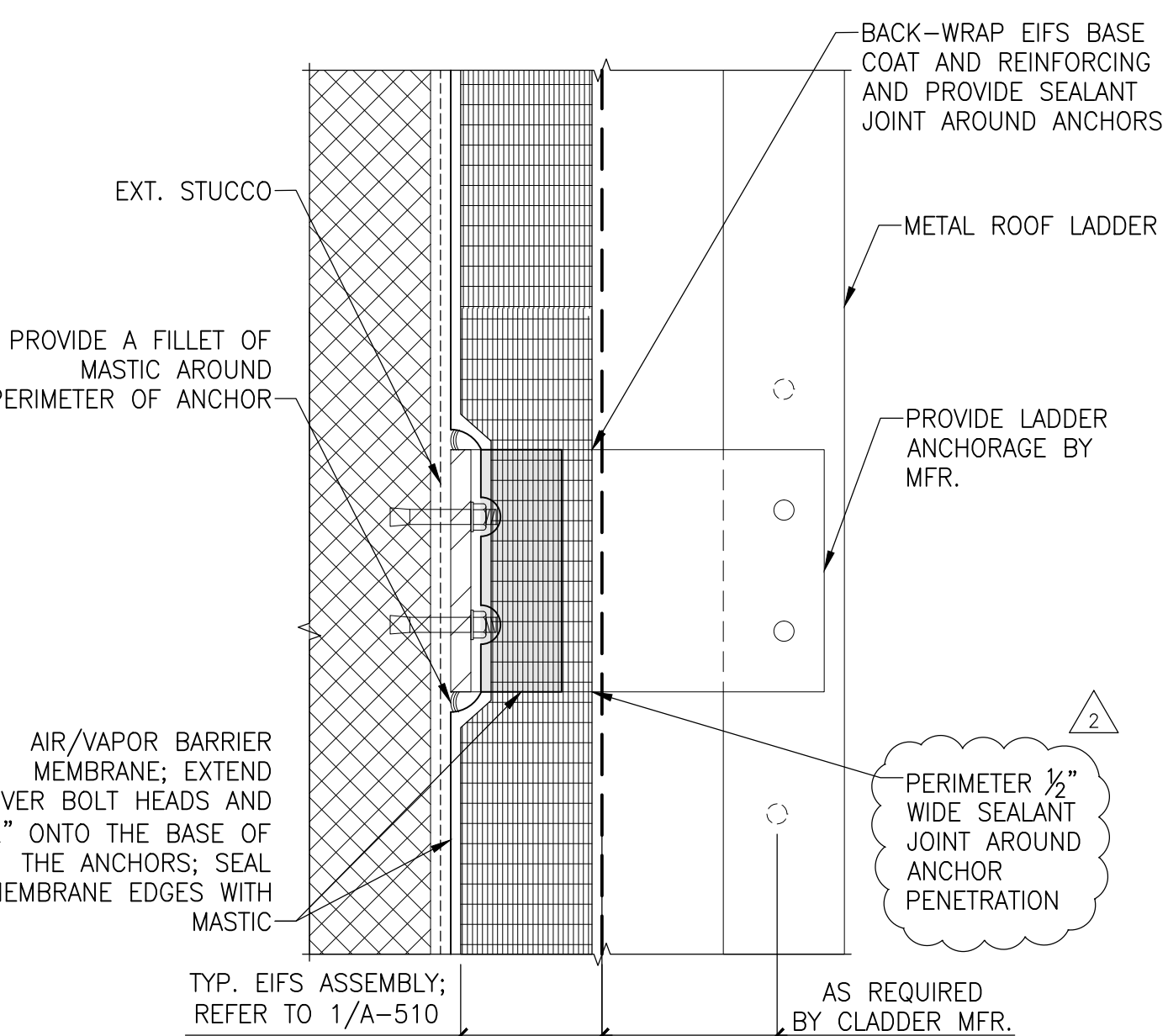
6 TYPICAL PIPE SUPPORT
NOTE: REFER TO DETAIL 5/A510 FOR SIMILAR FLASHING
3" = 1'-0"



7 TRELLIS ANCHORAGE
1 1/2" = 1'-0"



8 EIFS AT GRADE WITHIN MECHANICAL YARD
3" = 1'-0"



9 TYPICAL ROOF ACCESS LADDER
3" = 1'-0"

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Project

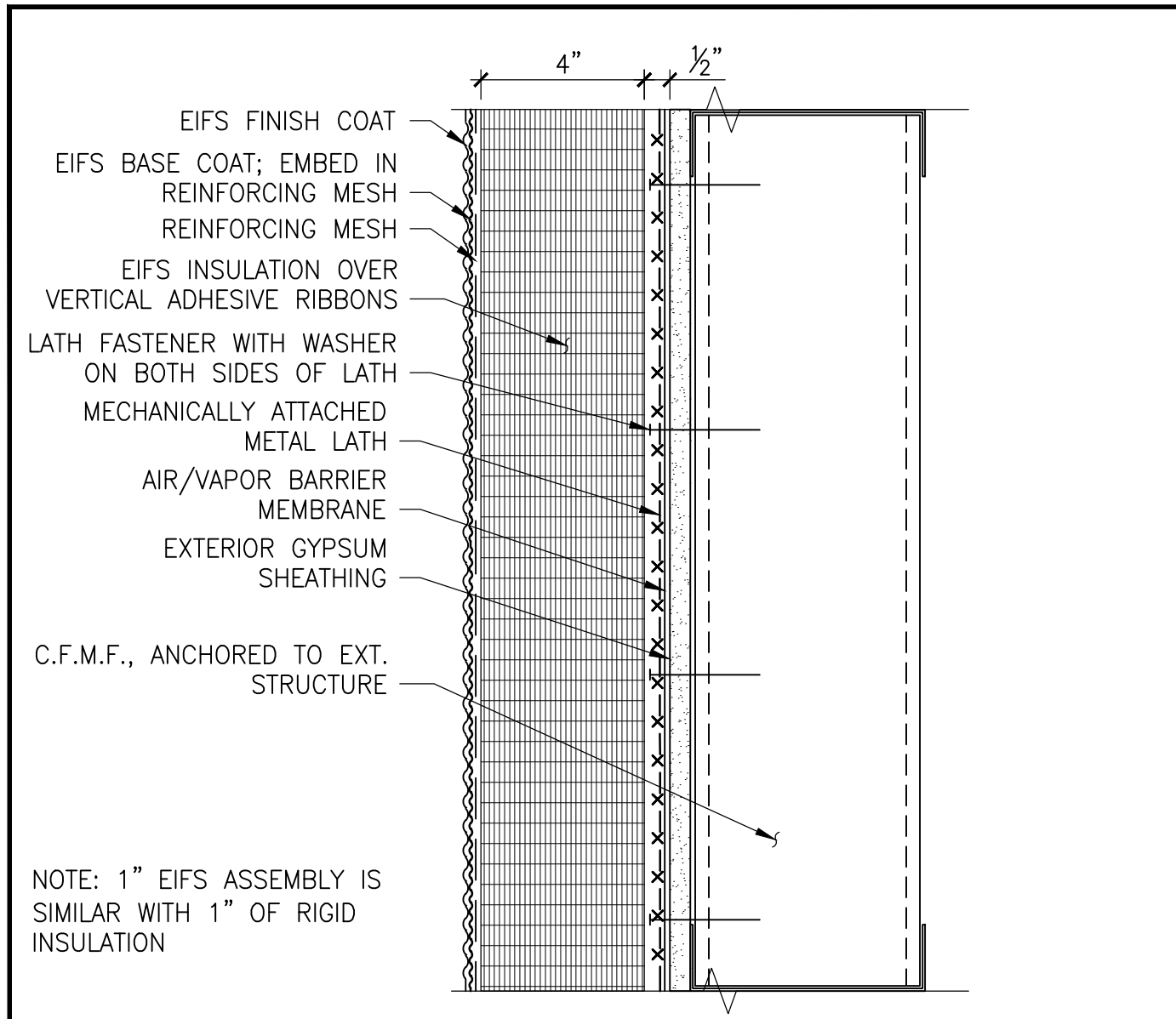
**EIFS
DETAILS**

Drawing Title

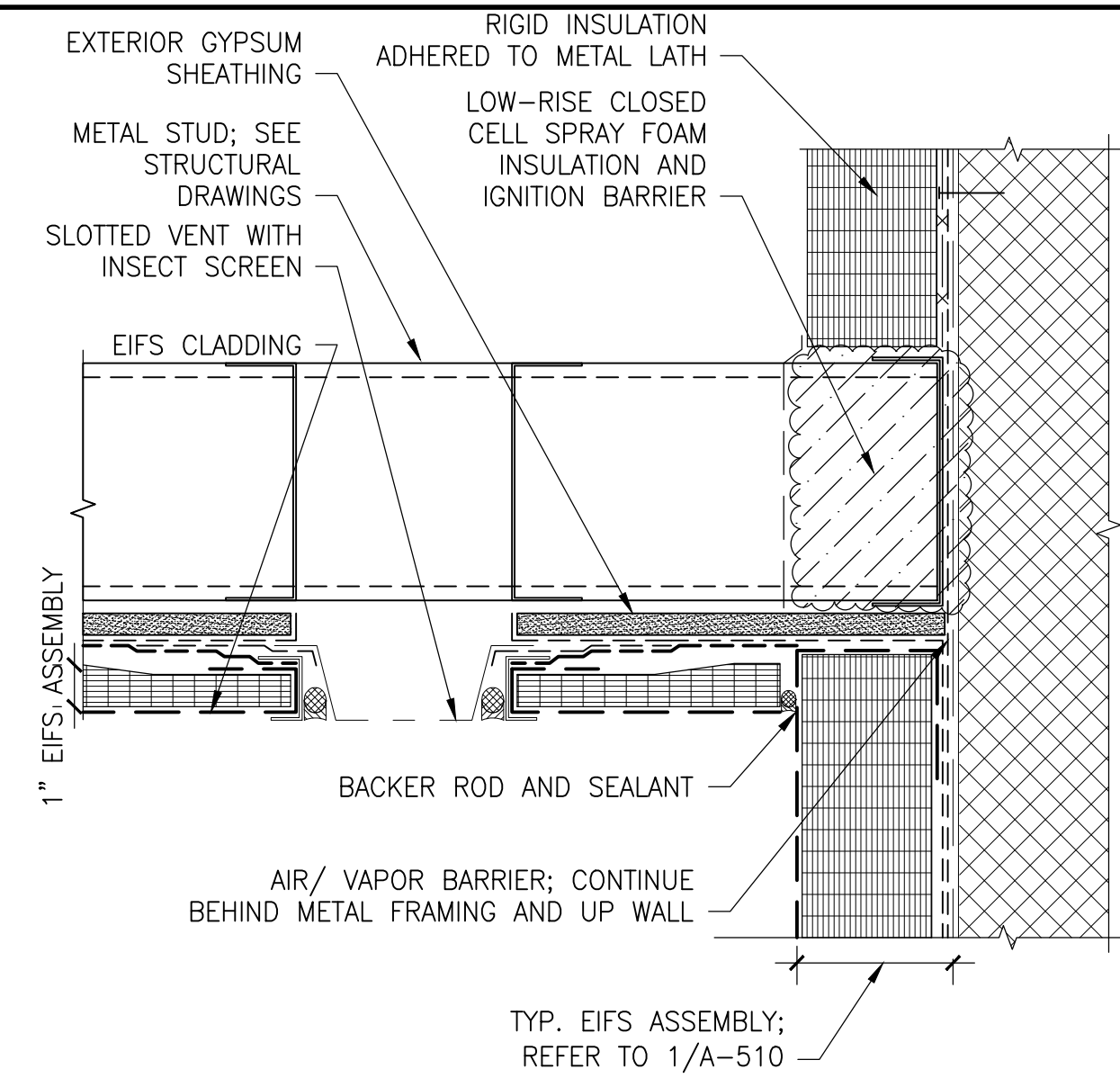
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Drawing No.
A510

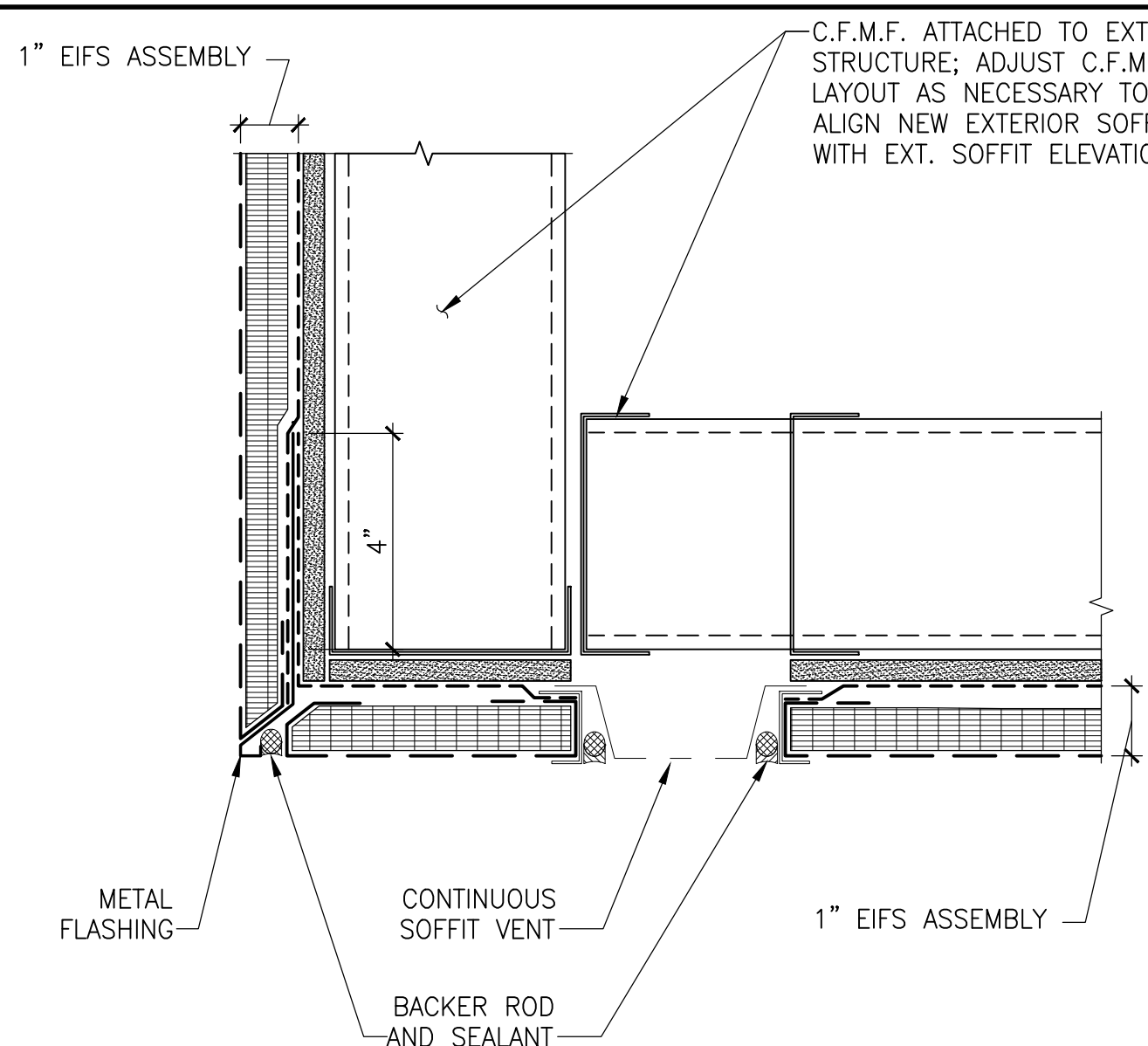
PERMIT RESPONSE SET



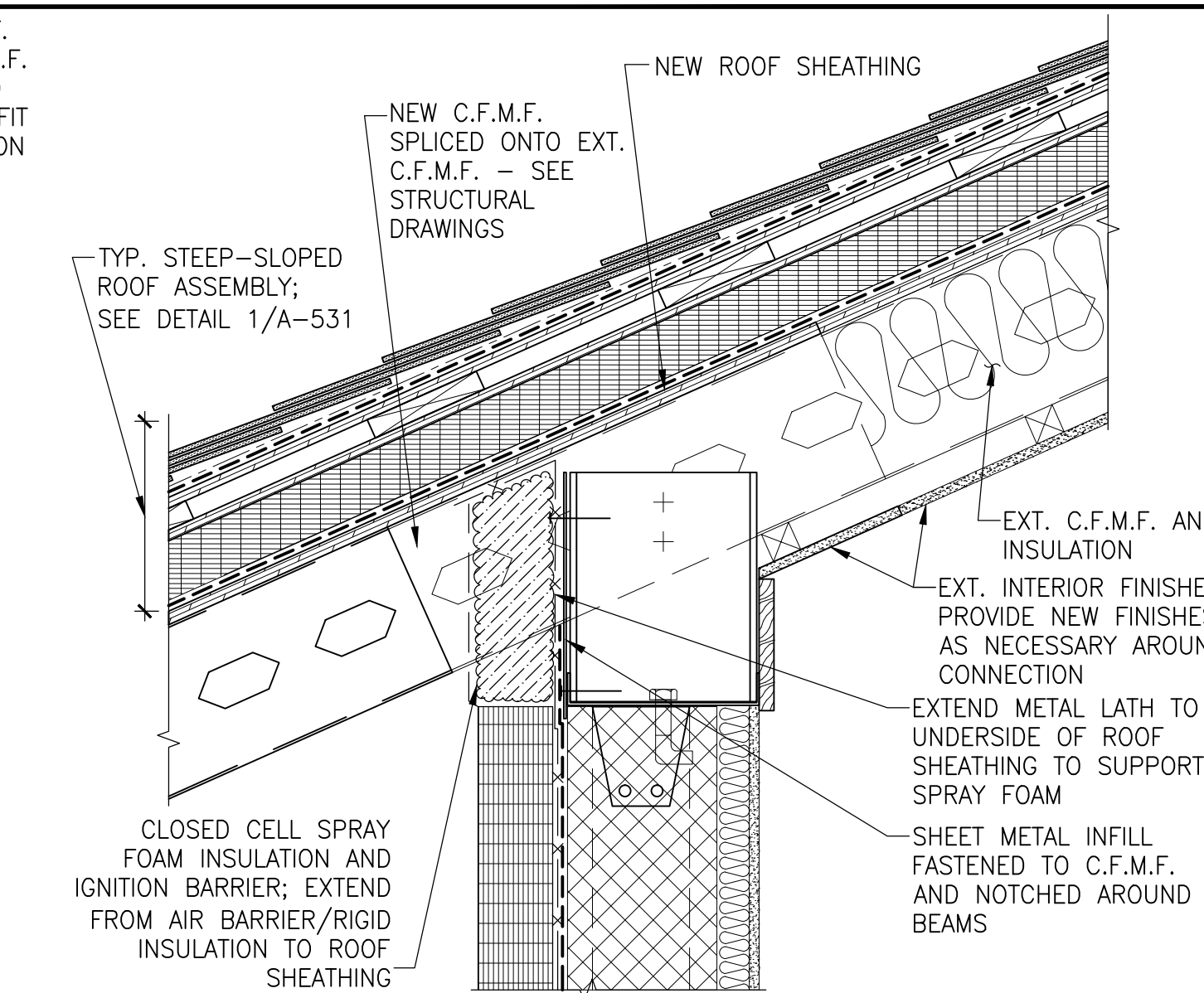
1 TYPICAL EIFS CLADDING - OVER FRAMING
3" = 1'-0"



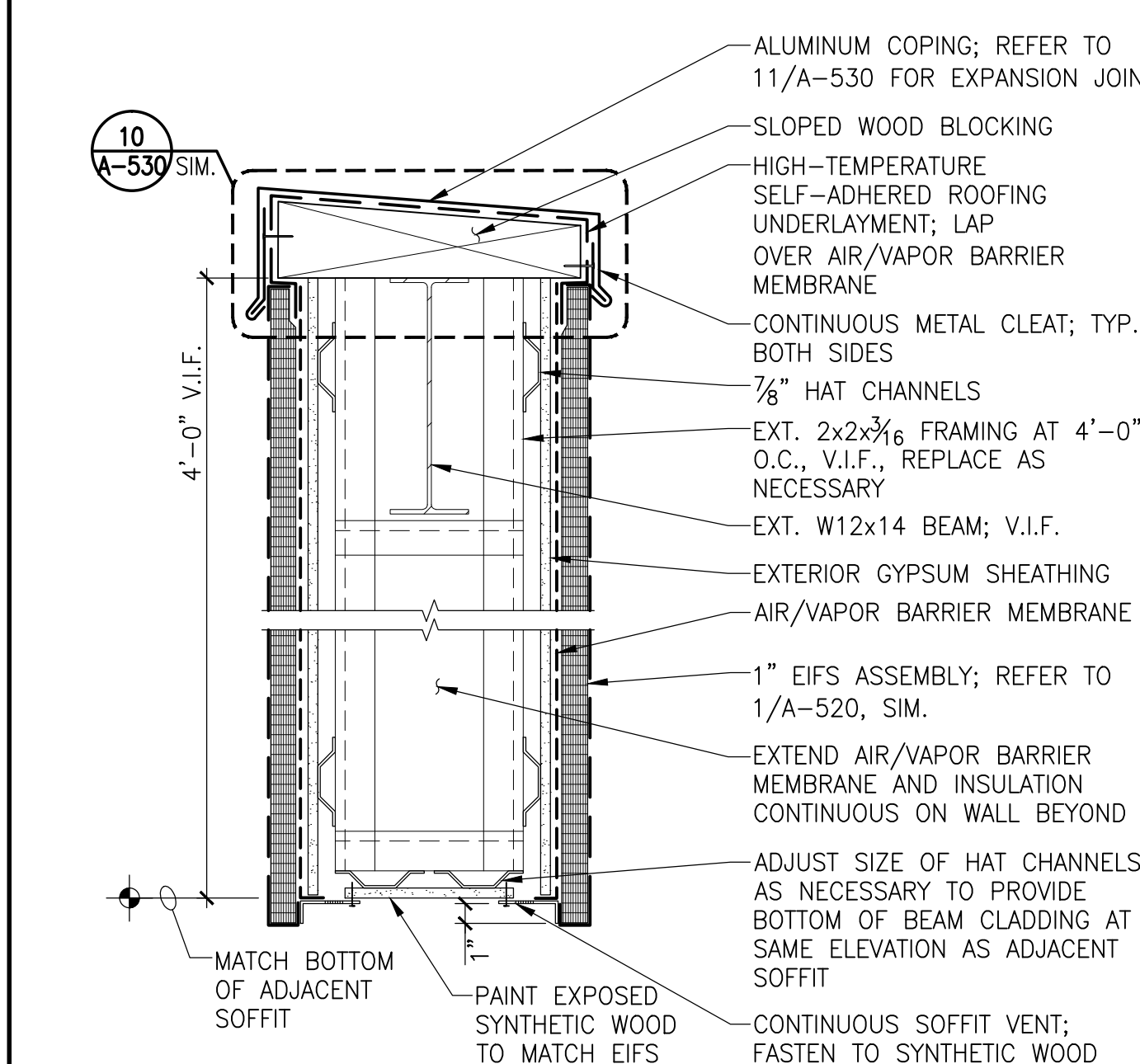
2 EIFS TRANSITION AT LOWER SOFFIT
3" = 1'-0"



3 LOWER SOFFIT OUTSIDE CORNER
3" = 1'-0"



4 LOWER SOFFIT WALL AT STEEP-SLOPE ROOF
1 1/2" = 1'-0"



5 EIFS-CLAD BEAM
1 1/2" = 1'-0"

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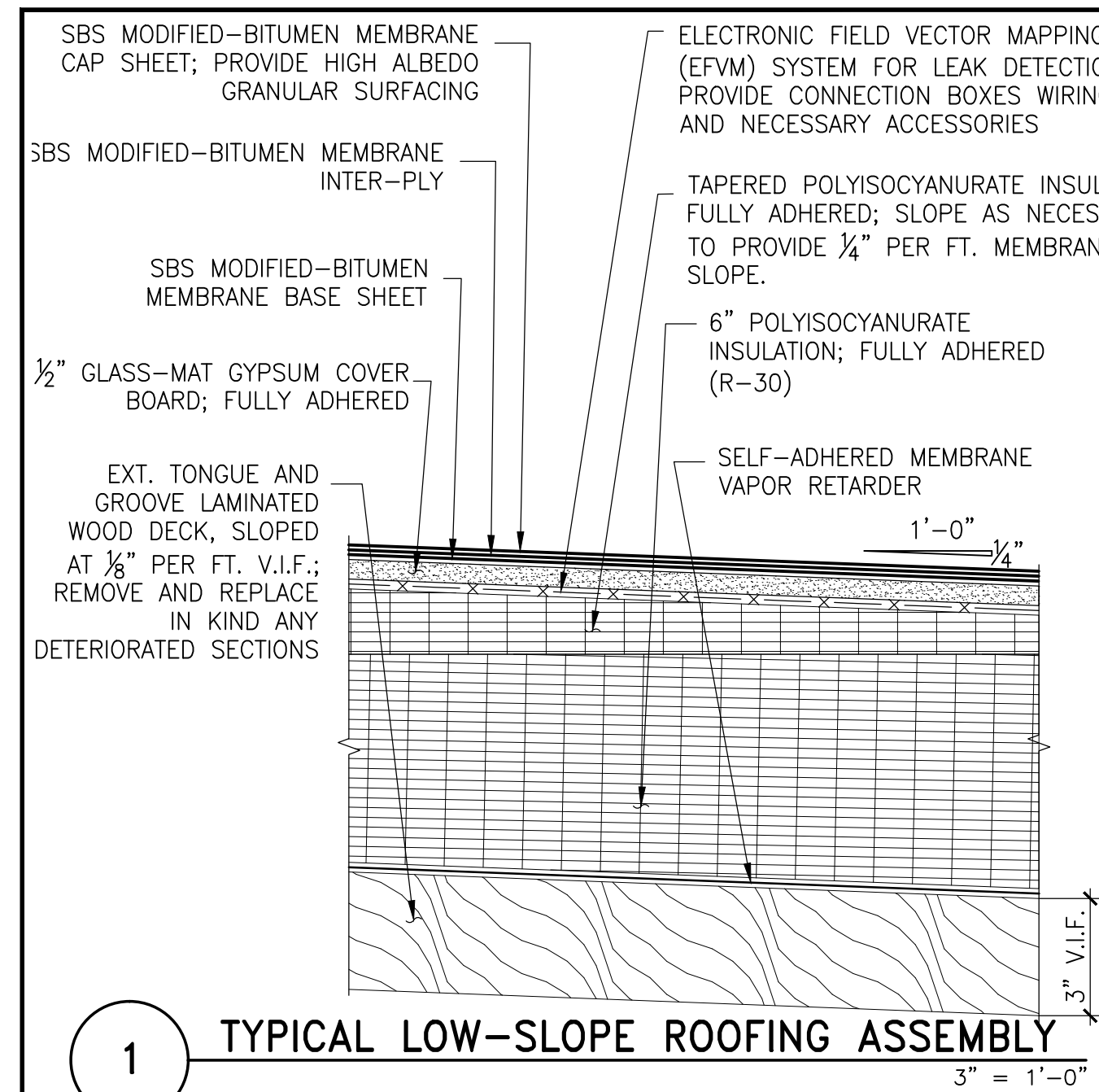
**SOFFIT
DETAILS**

Drawing Title

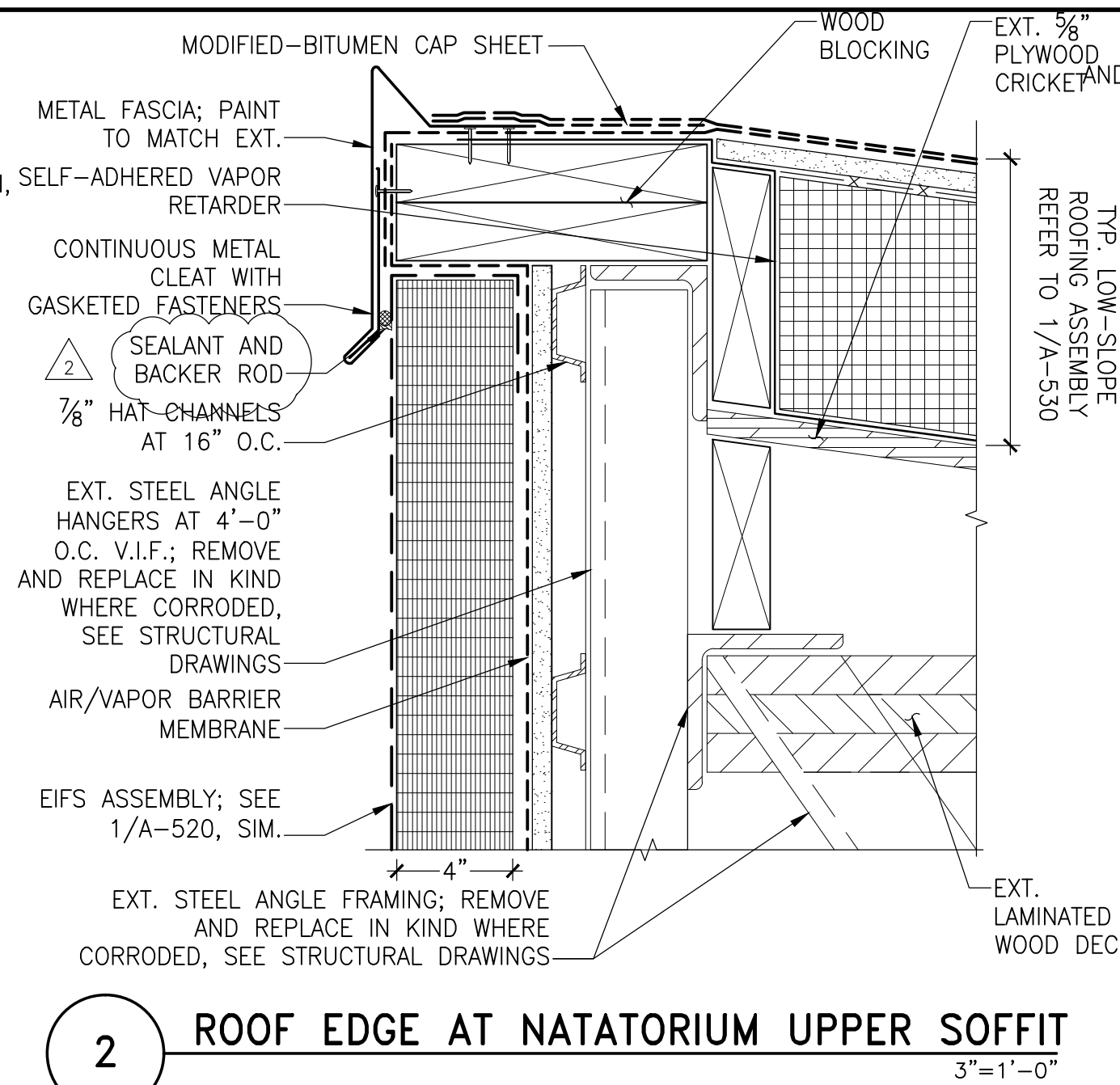
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Seal

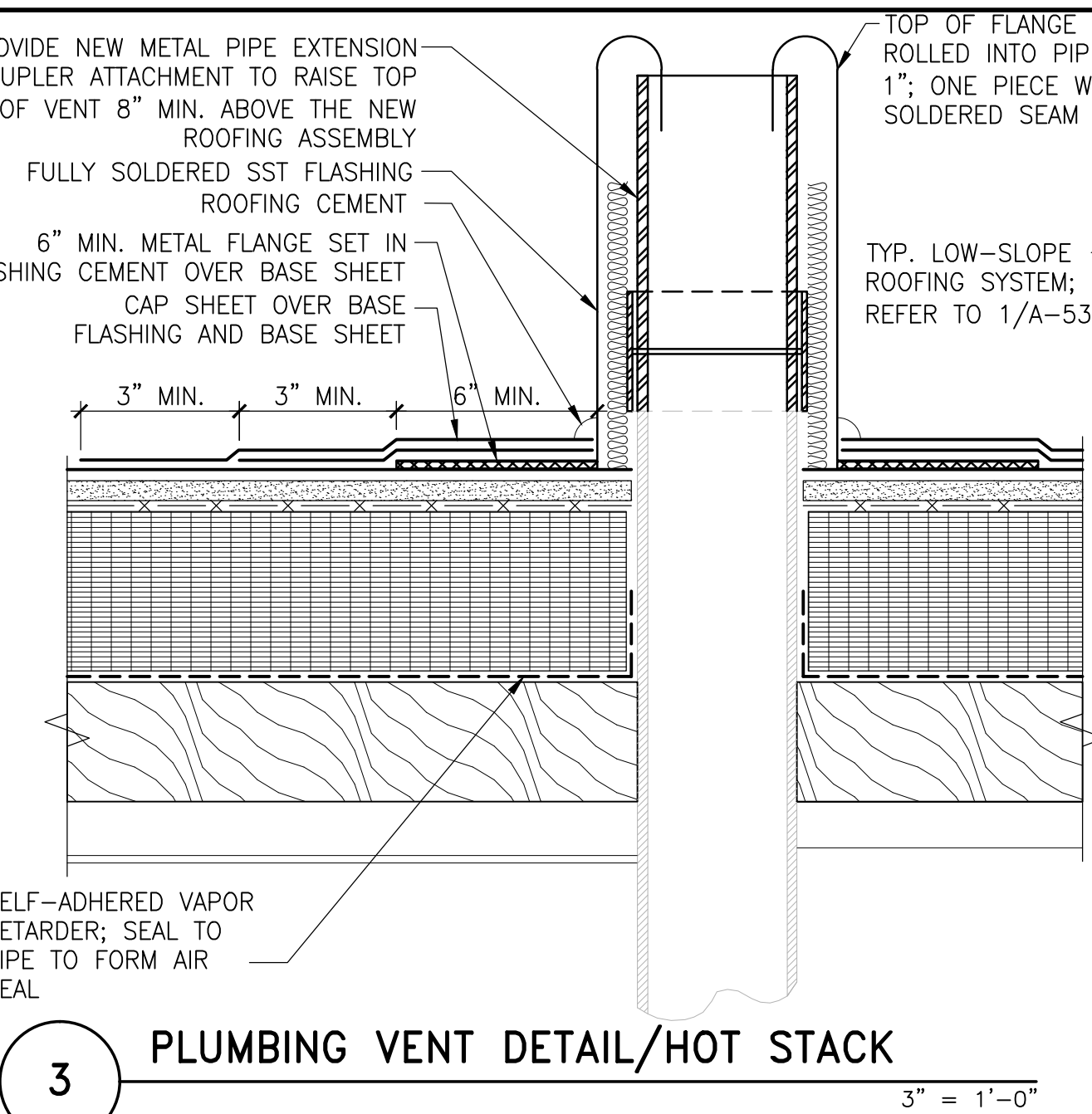
Drawing No.
A520



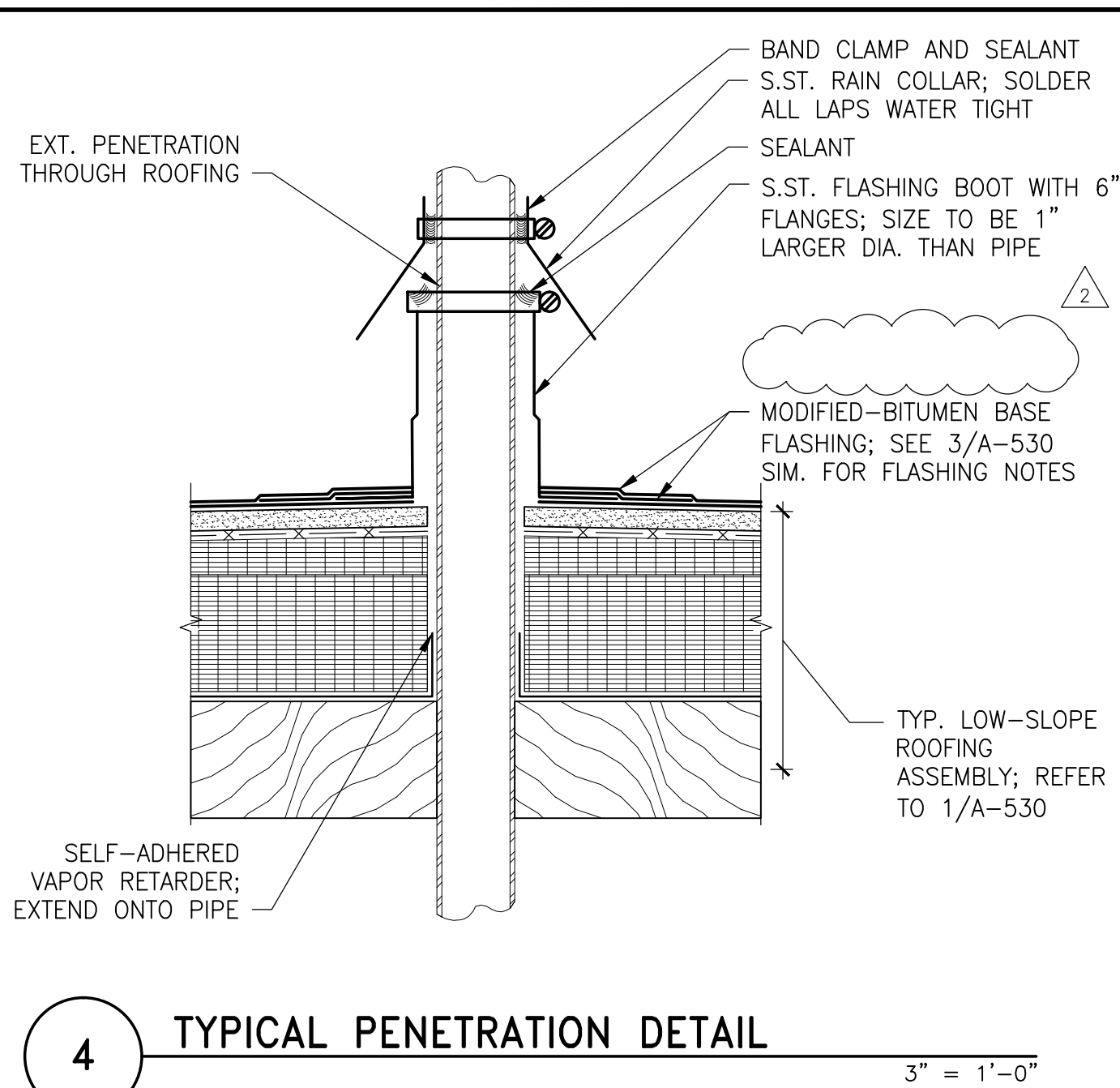
1 TYPICAL LOW-SLOPE ROOFING ASSEMBLY
3" = 1'-0"



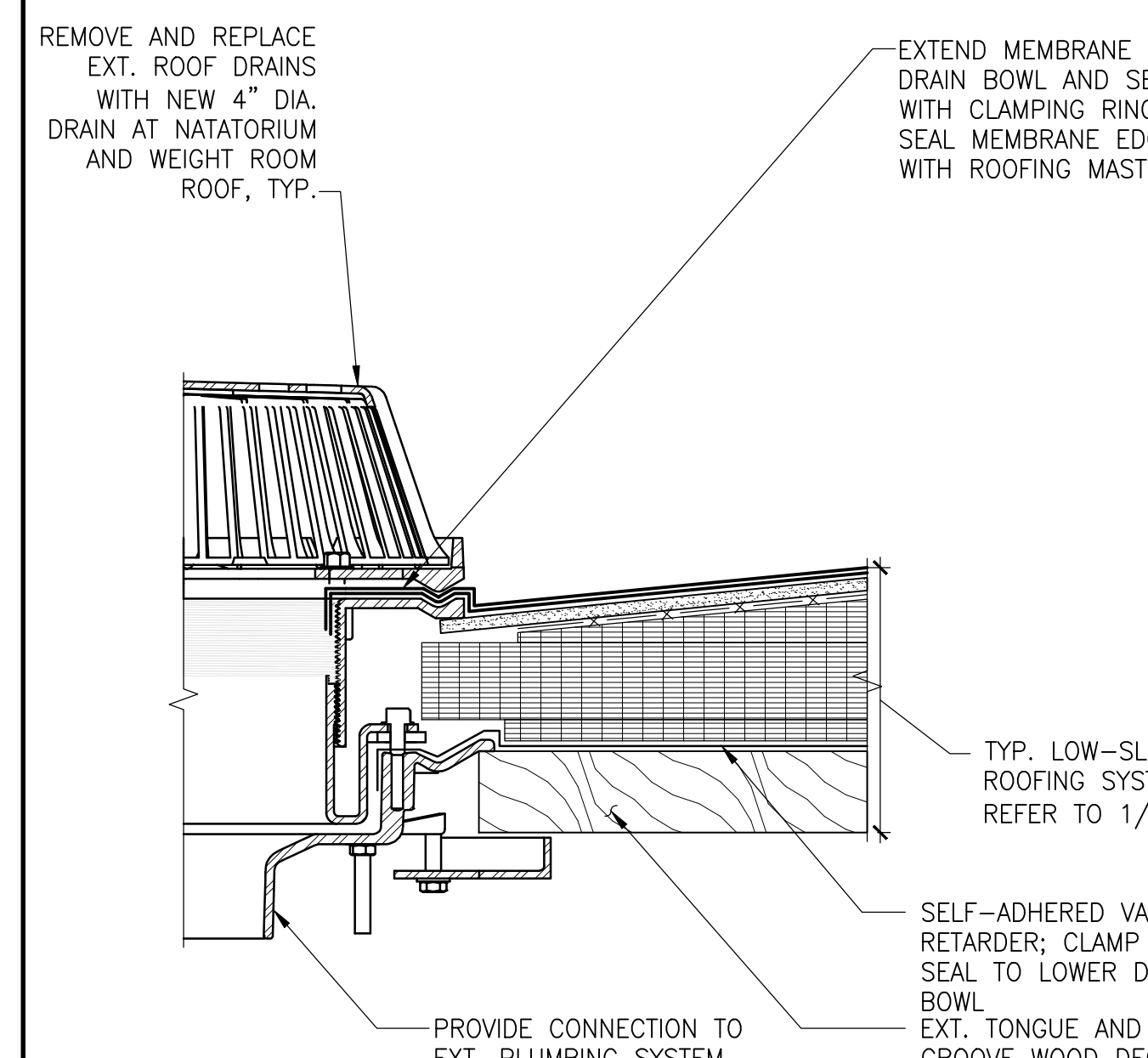
2 ROOF EDGE AT NATATORIUM UPPER SOFFIT
3" = 1'-0"



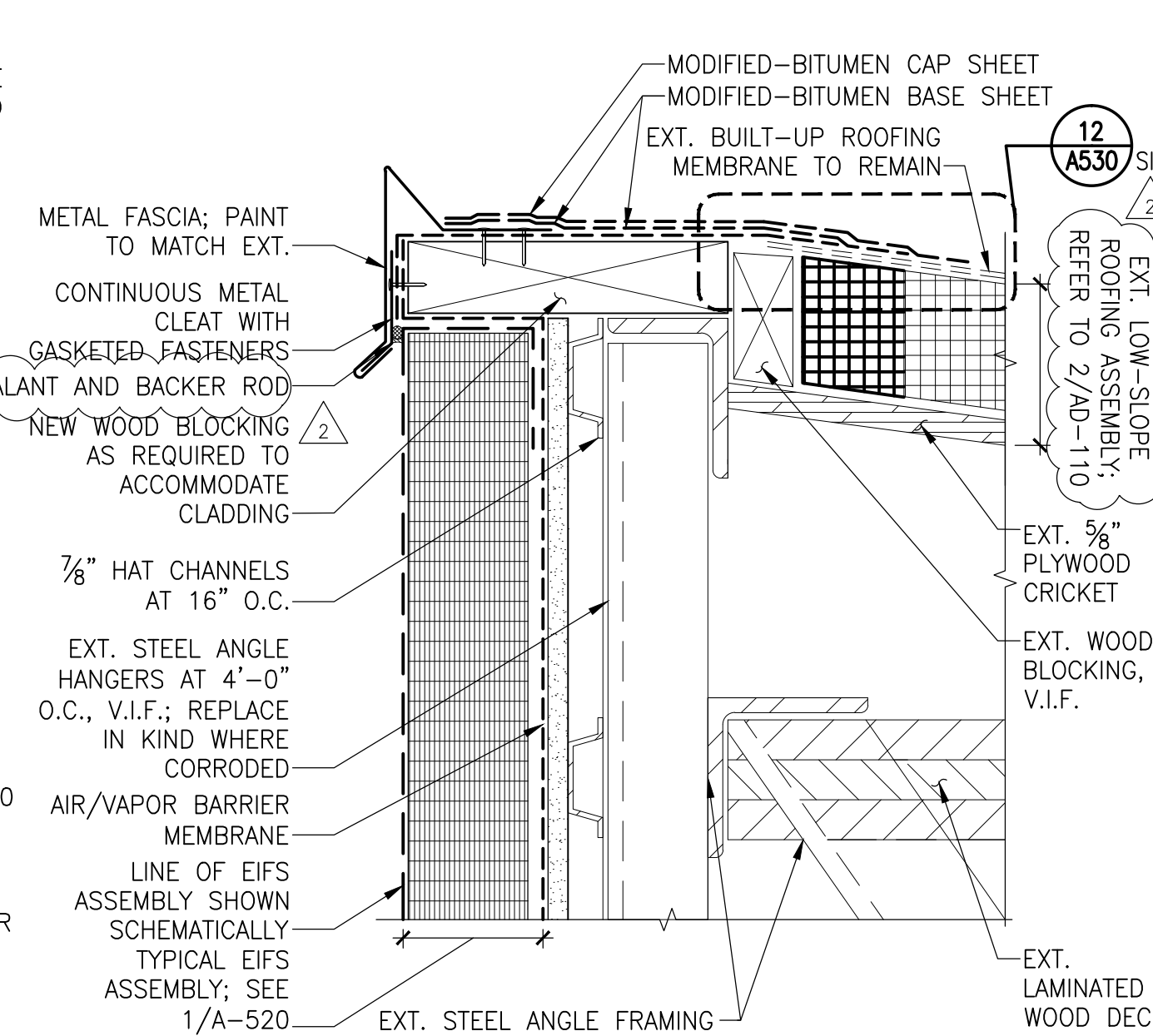
3 PLUMBING VENT DETAIL/HOT STACK
3" = 1'-0"



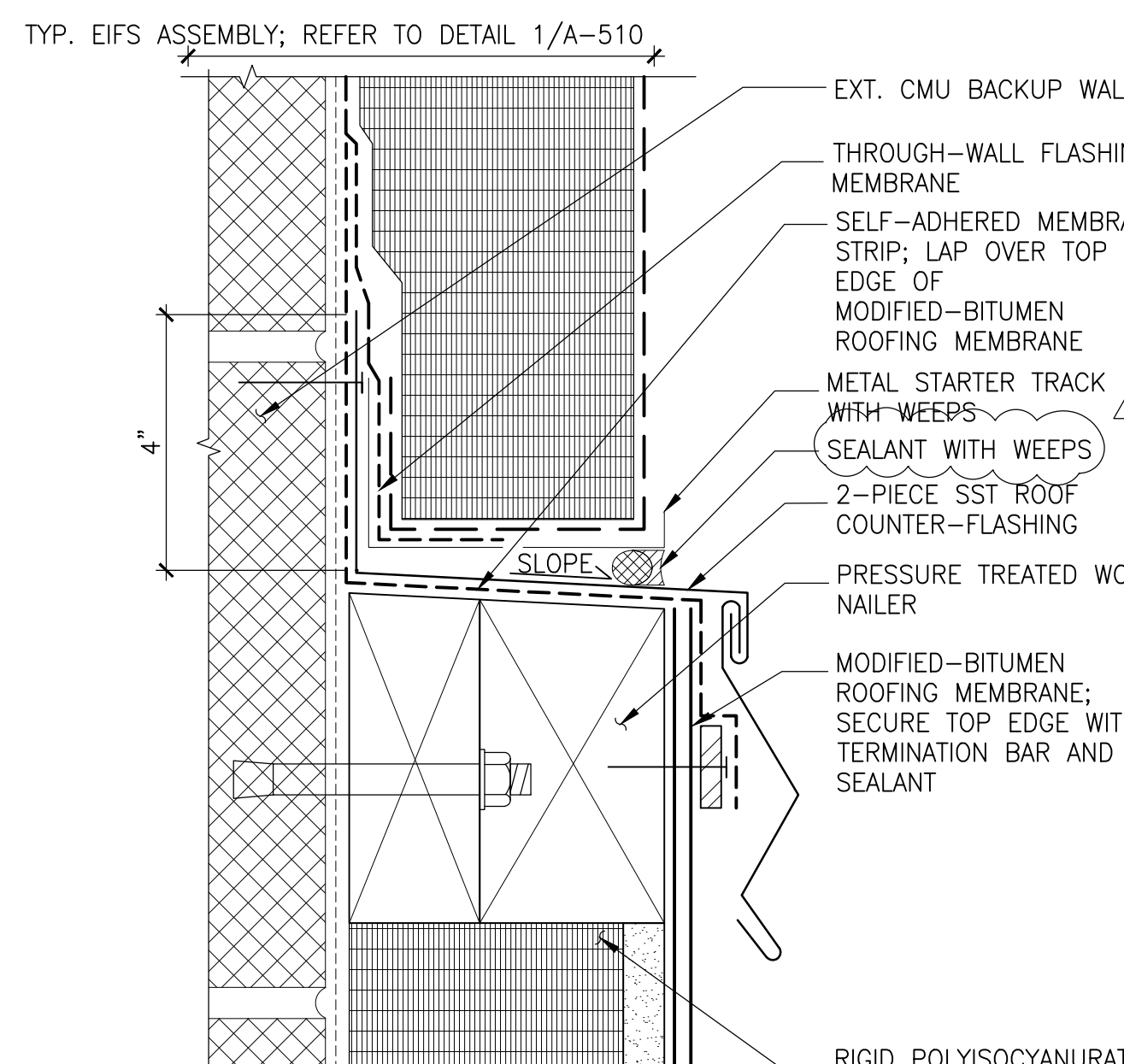
4 TYPICAL PENETRATION DETAIL
3" = 1'-0"



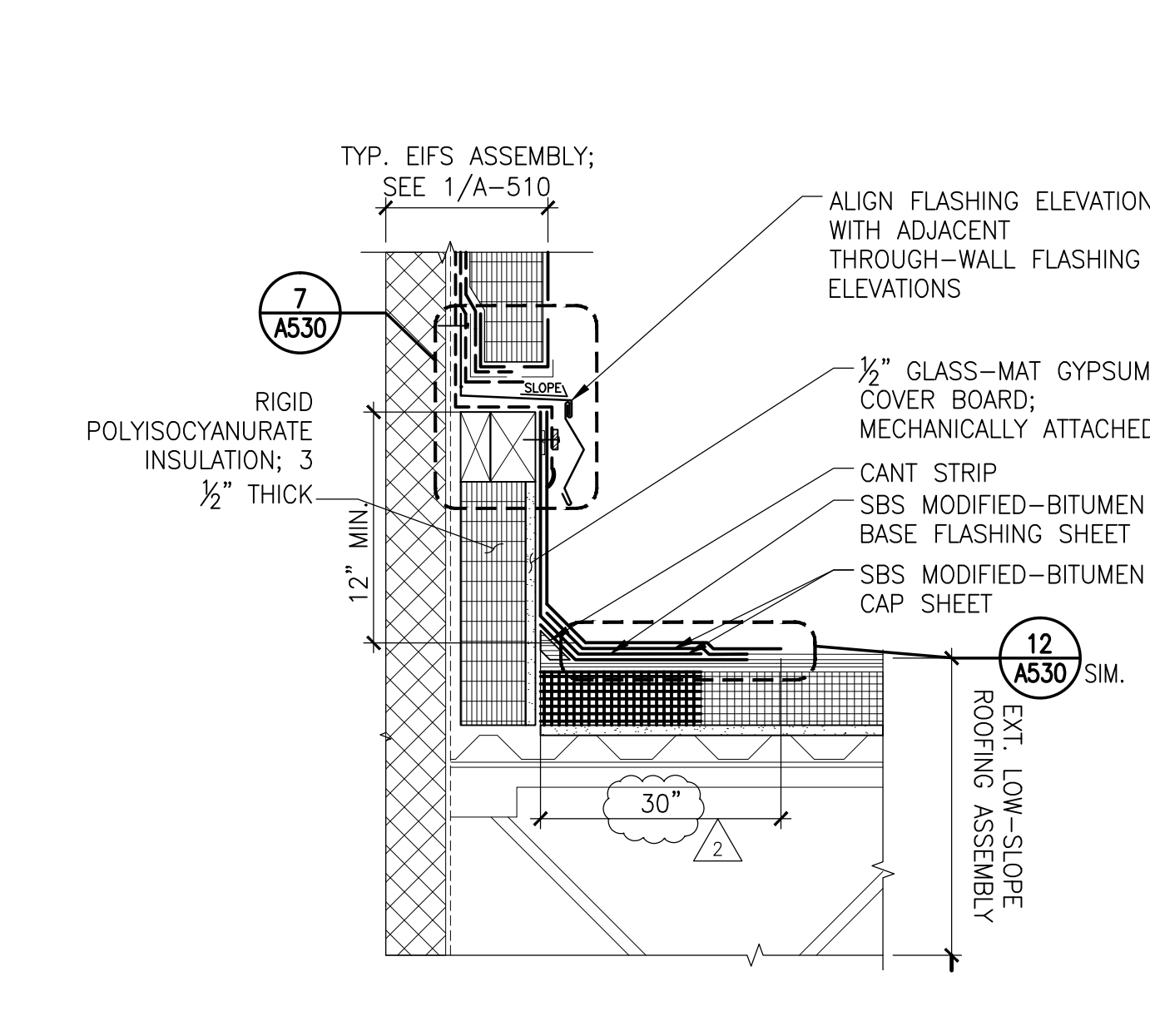
5 ROOF DRAIN DETAIL
3" = 1'-0"



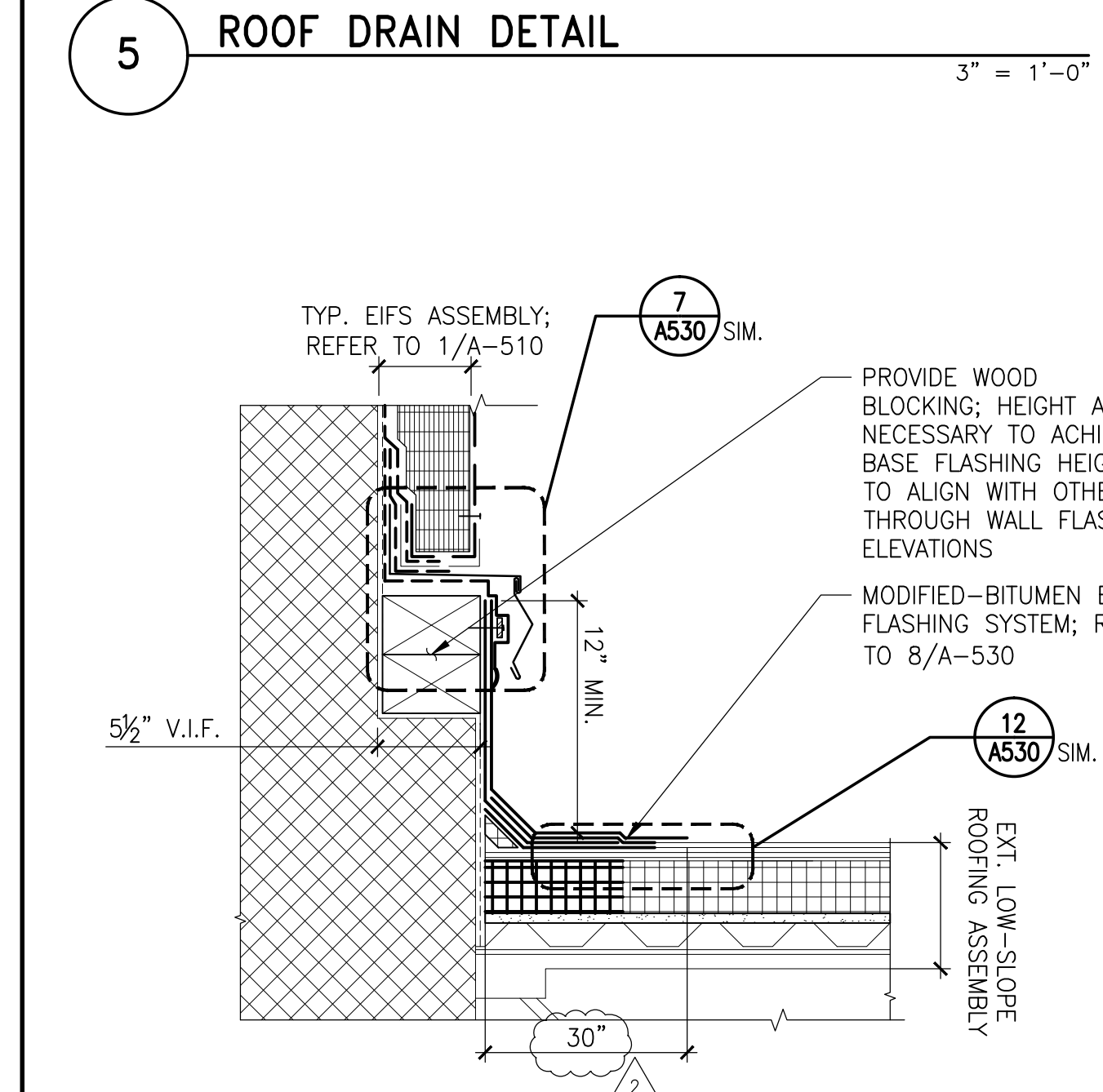
6 ROOF EDGE AT GYMNASIUM UPPER SOFFIT
3" = 1'-0"



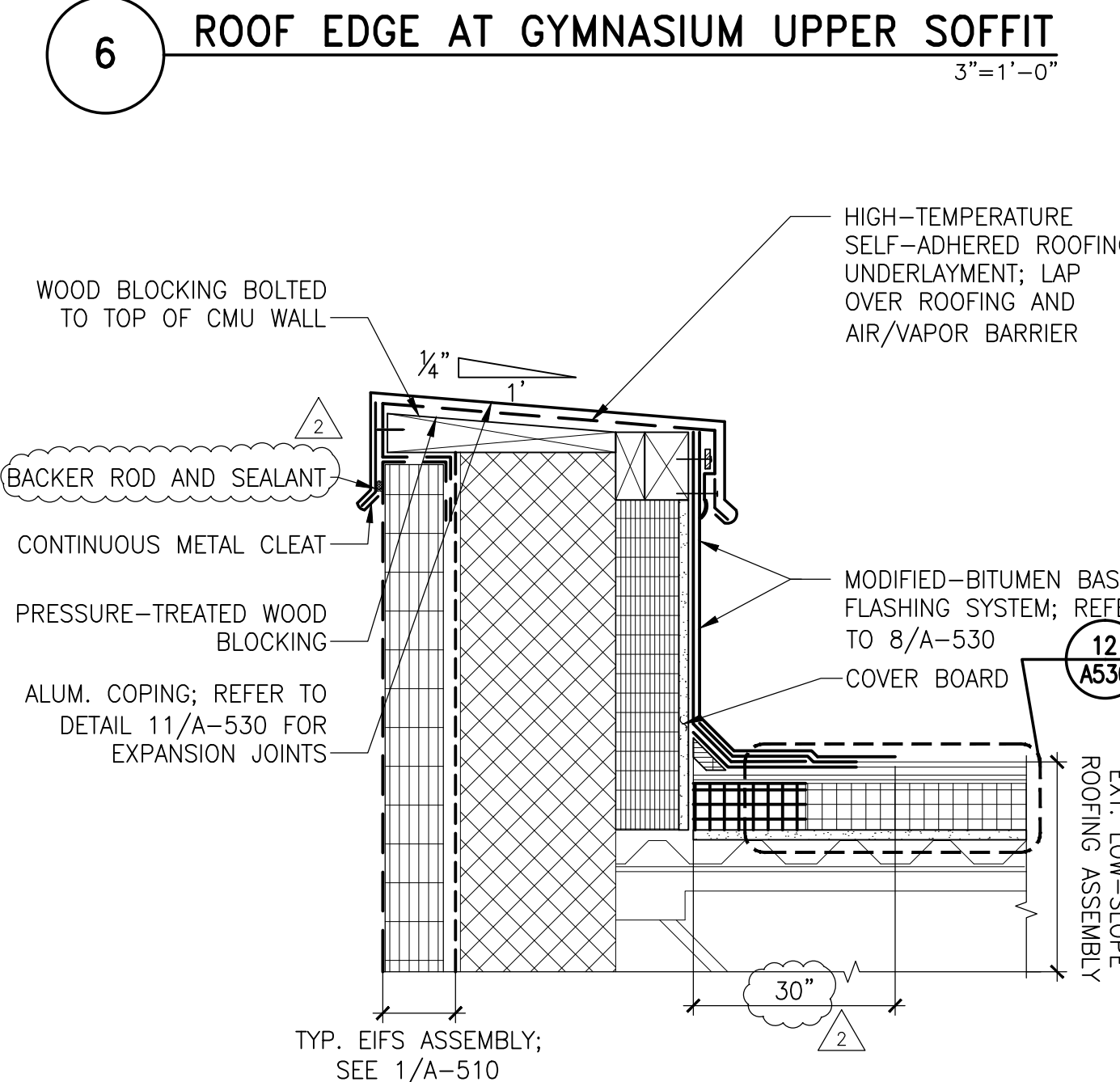
7 ROOF COUNTER-FLASHING AT EIFS
6" = 1'-0"



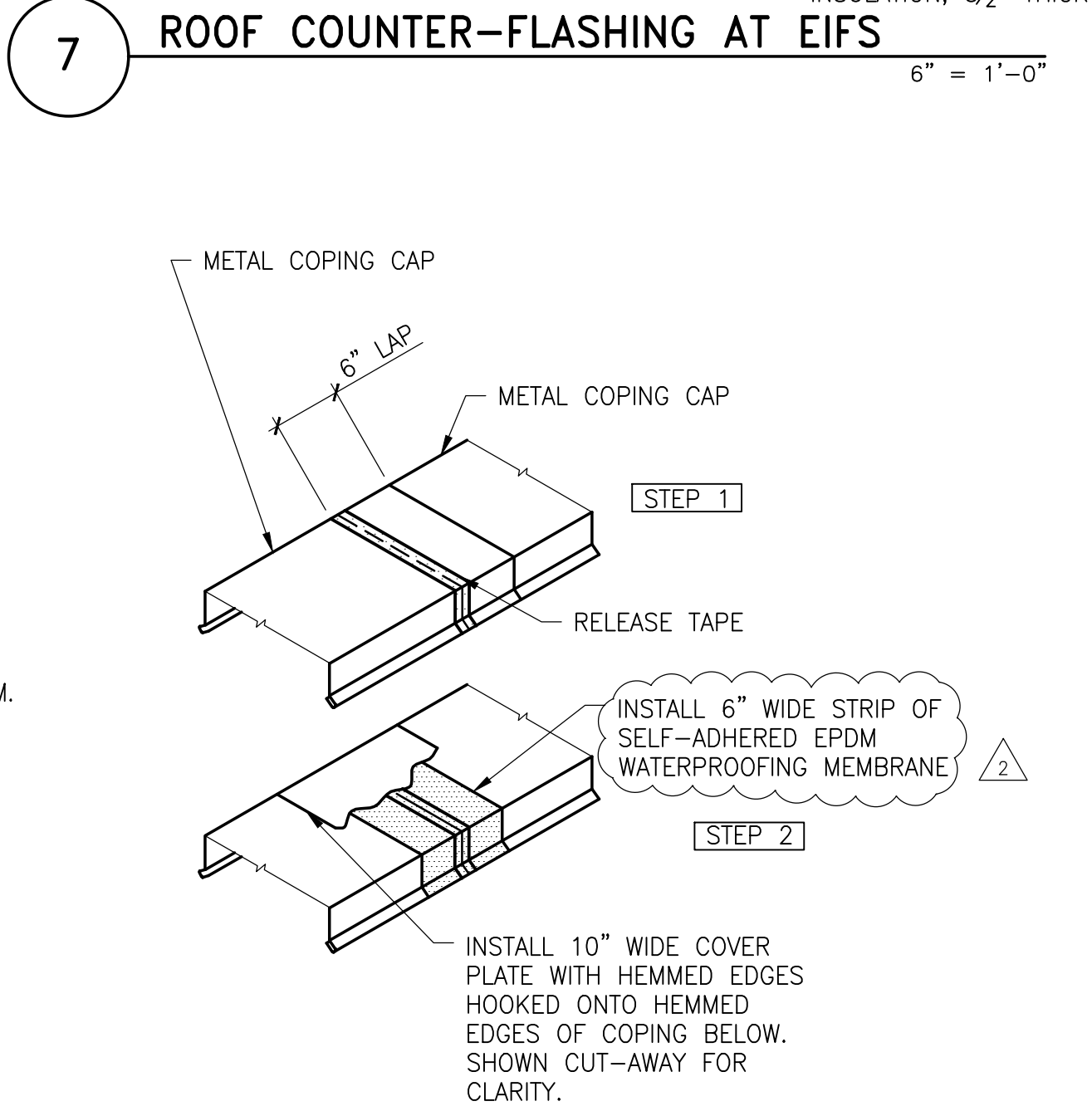
8 BASE FLASHING AT LOW ROOF
3" = 1'-0"



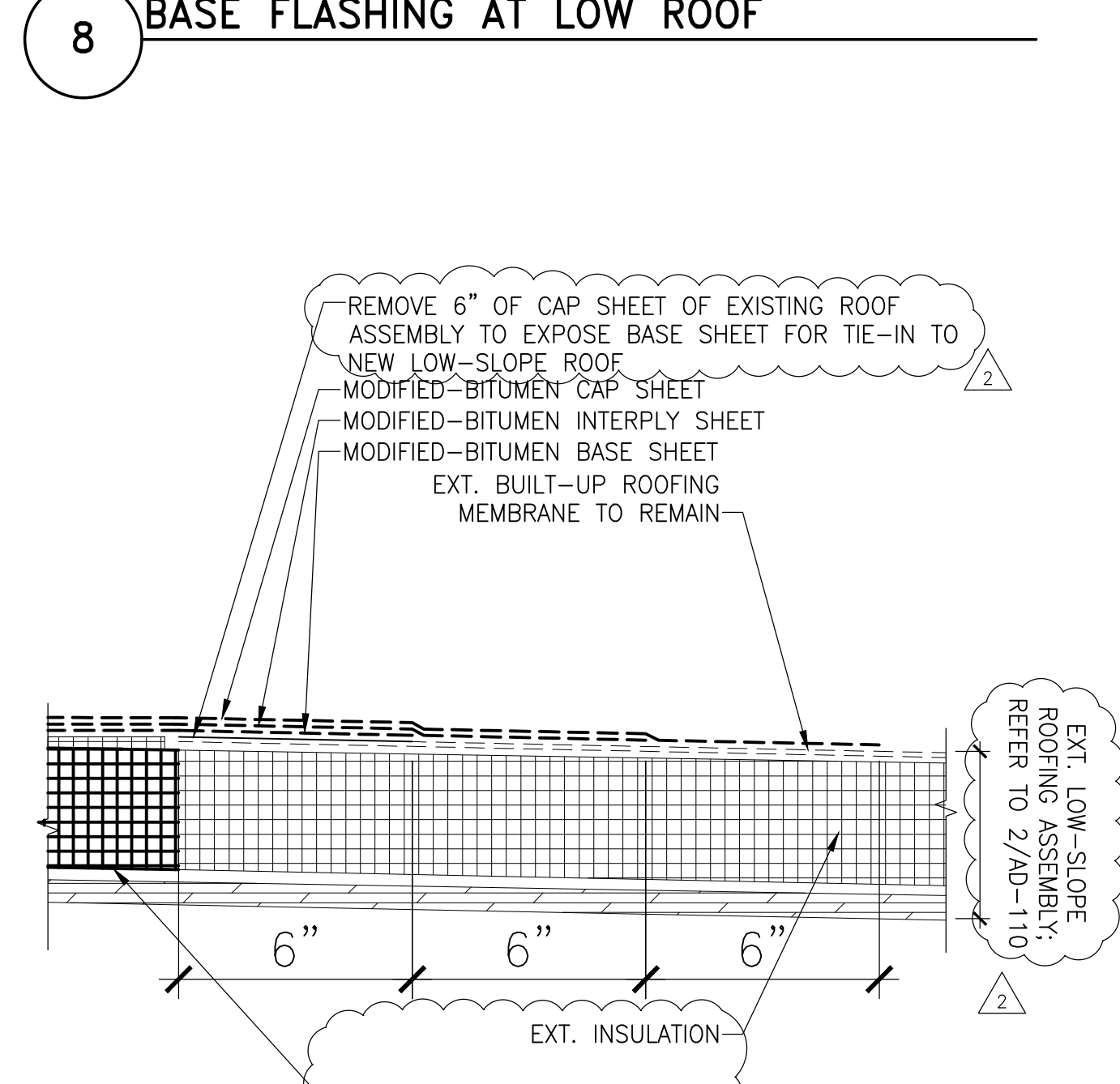
9 LOW-ROOF BASE FLASHING AT NATATORIUM
NOTE: SIMILAR BASE FLASHING DETAIL FOR USE AT NEW RTU CURB



10 CLASSROOM PARAPET
N.T.S.



11 TYPICAL METAL COPING FLASHING EXPANSION JOINT
N.T.S.



12 MODIFIED BITUMEN ROOF TIE-IN TO EXISTING
N.T.S.

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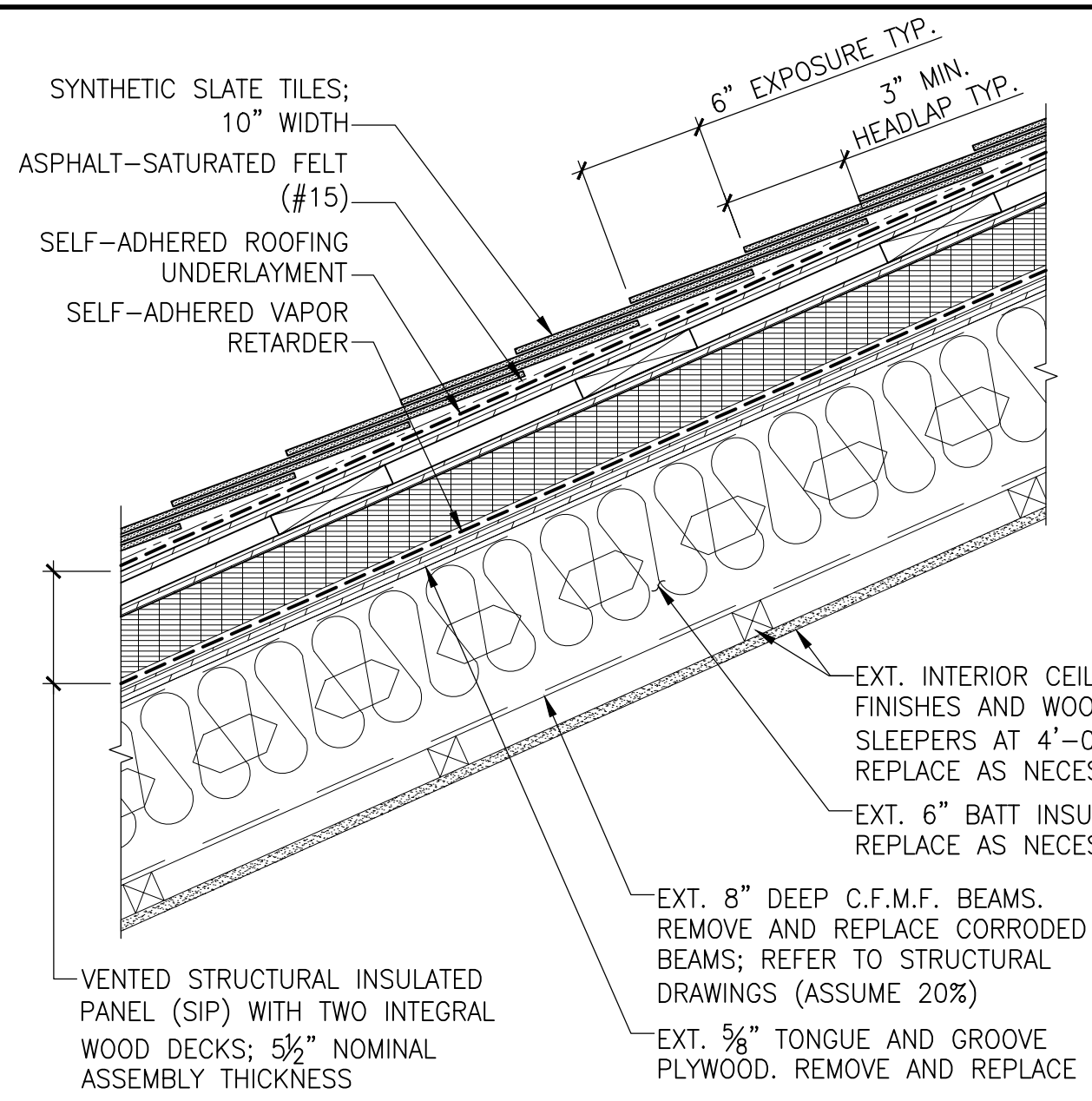
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LOW-SLOPE ROOFING DETAILS

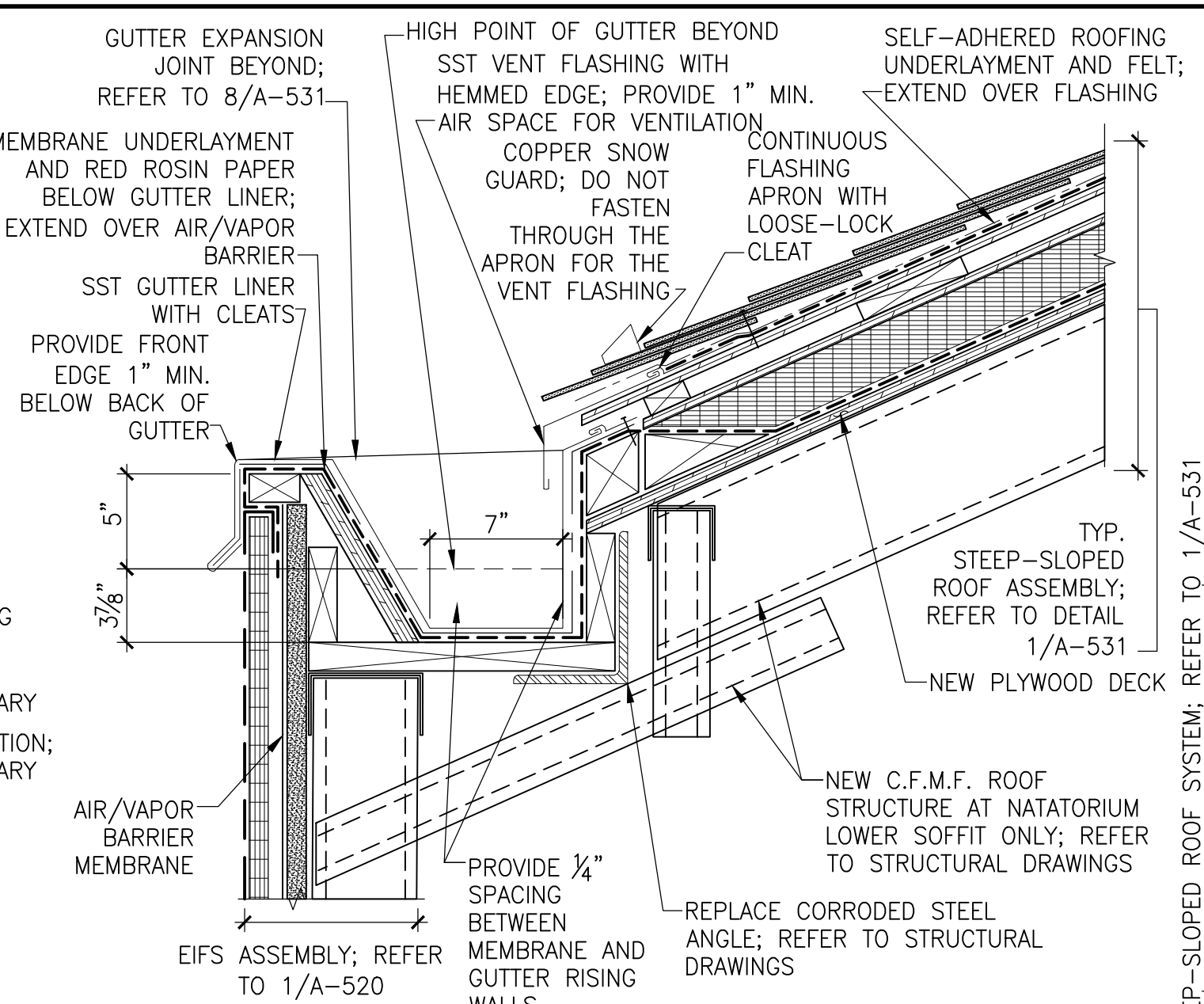
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| | | |
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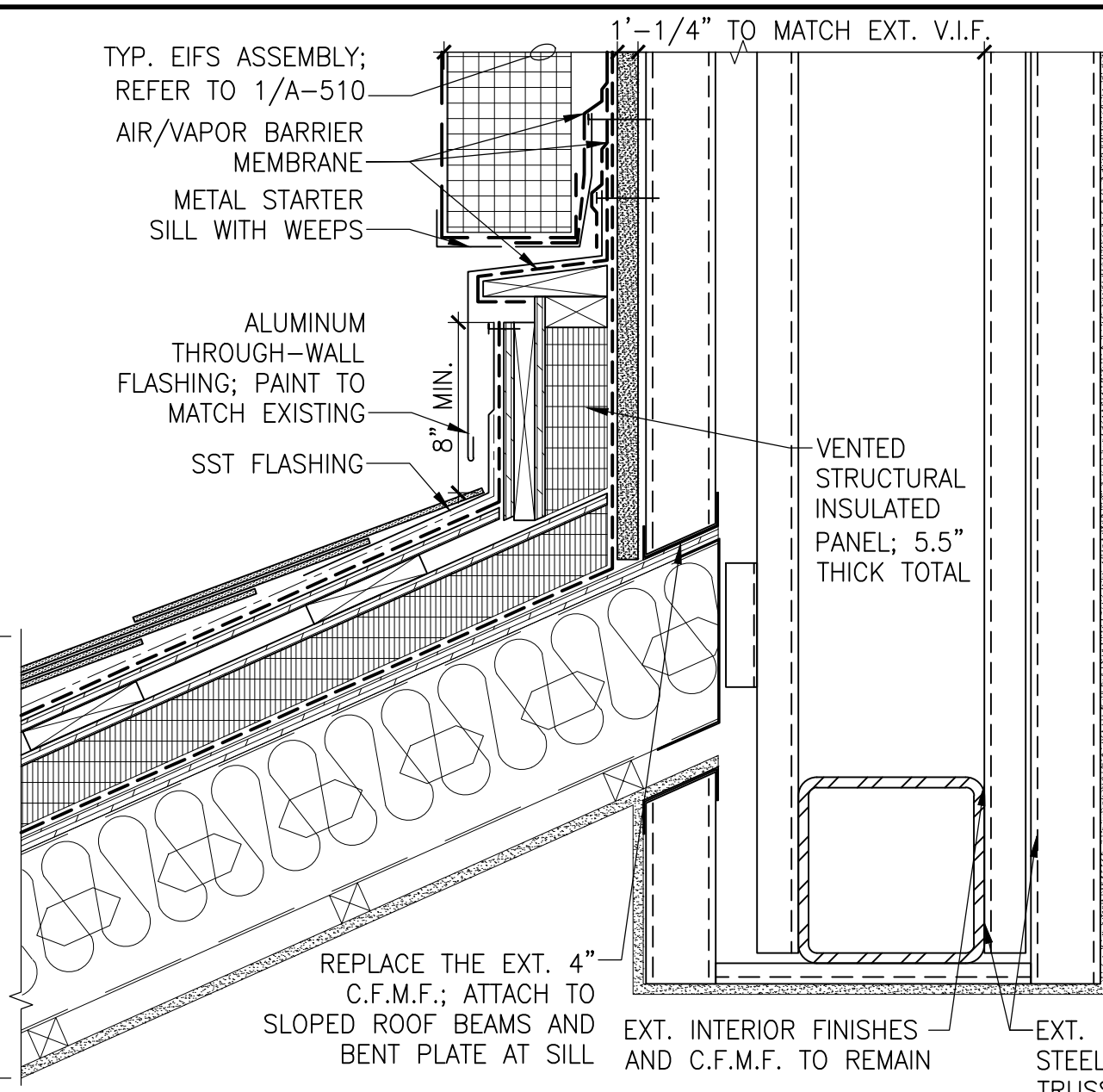
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A530



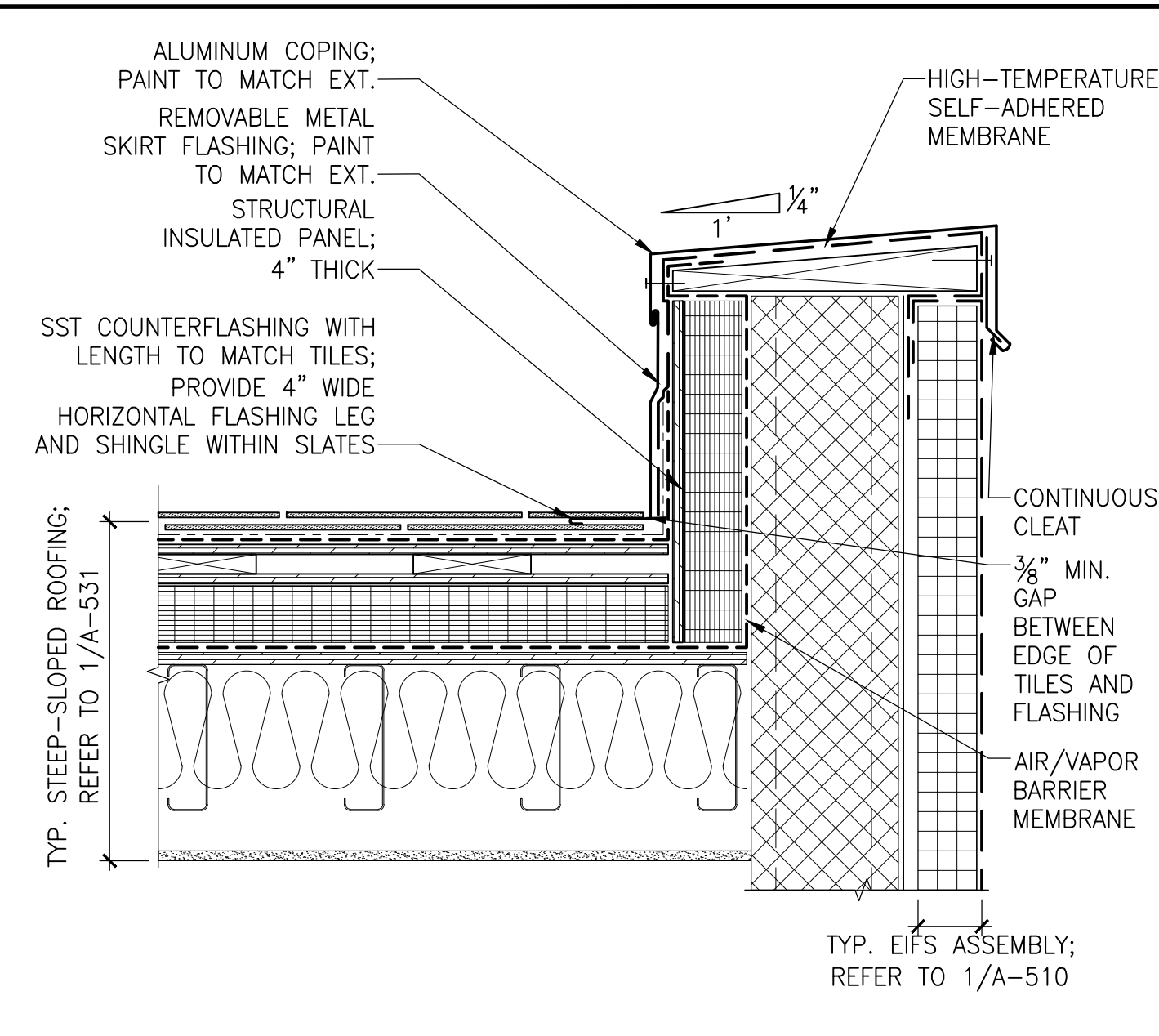
1 TYPICAL STEEP-SLOPED ROOF
1 1/2" = 1'-0"



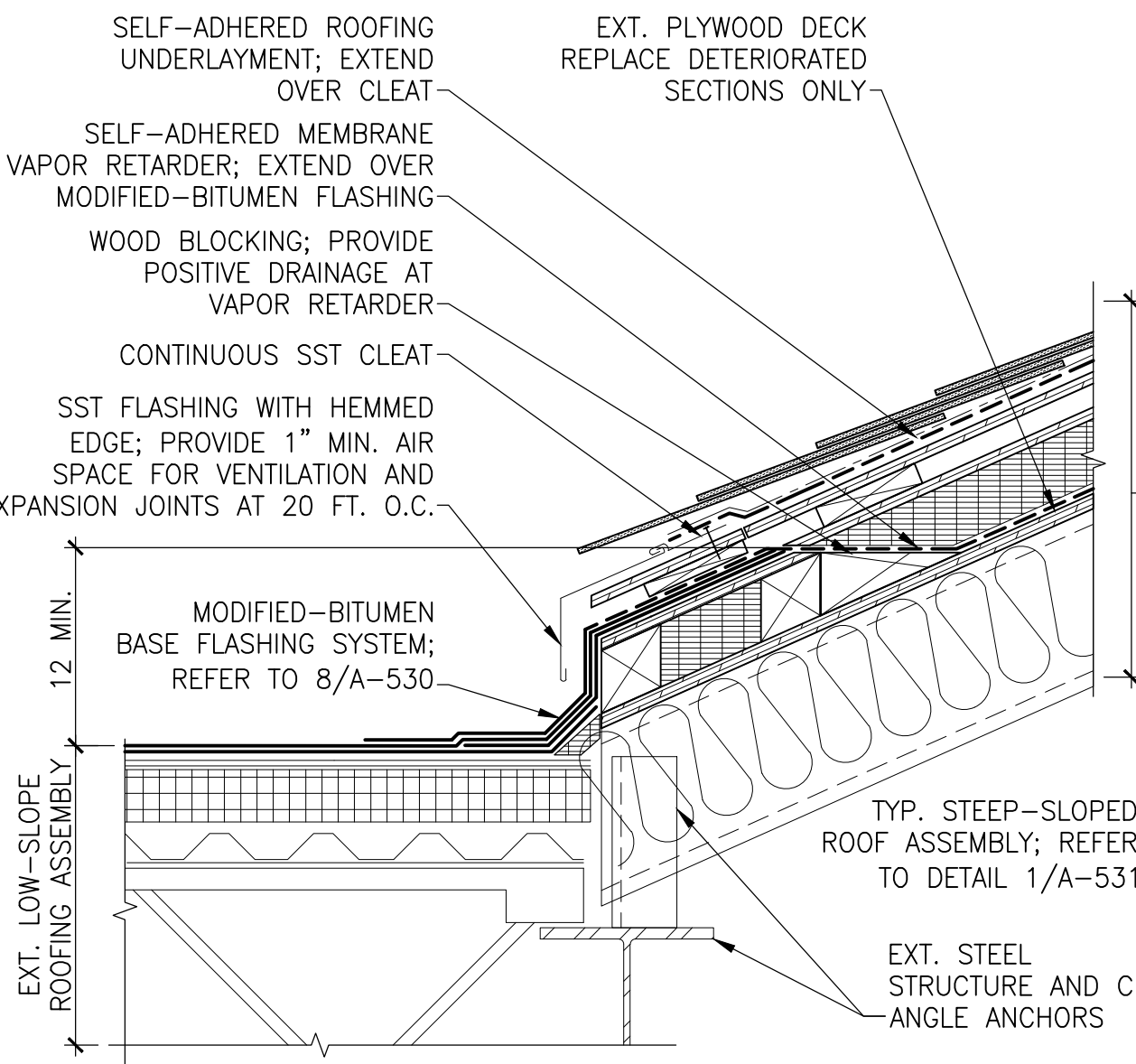
2 STEEP-SLOPED ROOF GUTTER
1 1/2" = 1'-0"



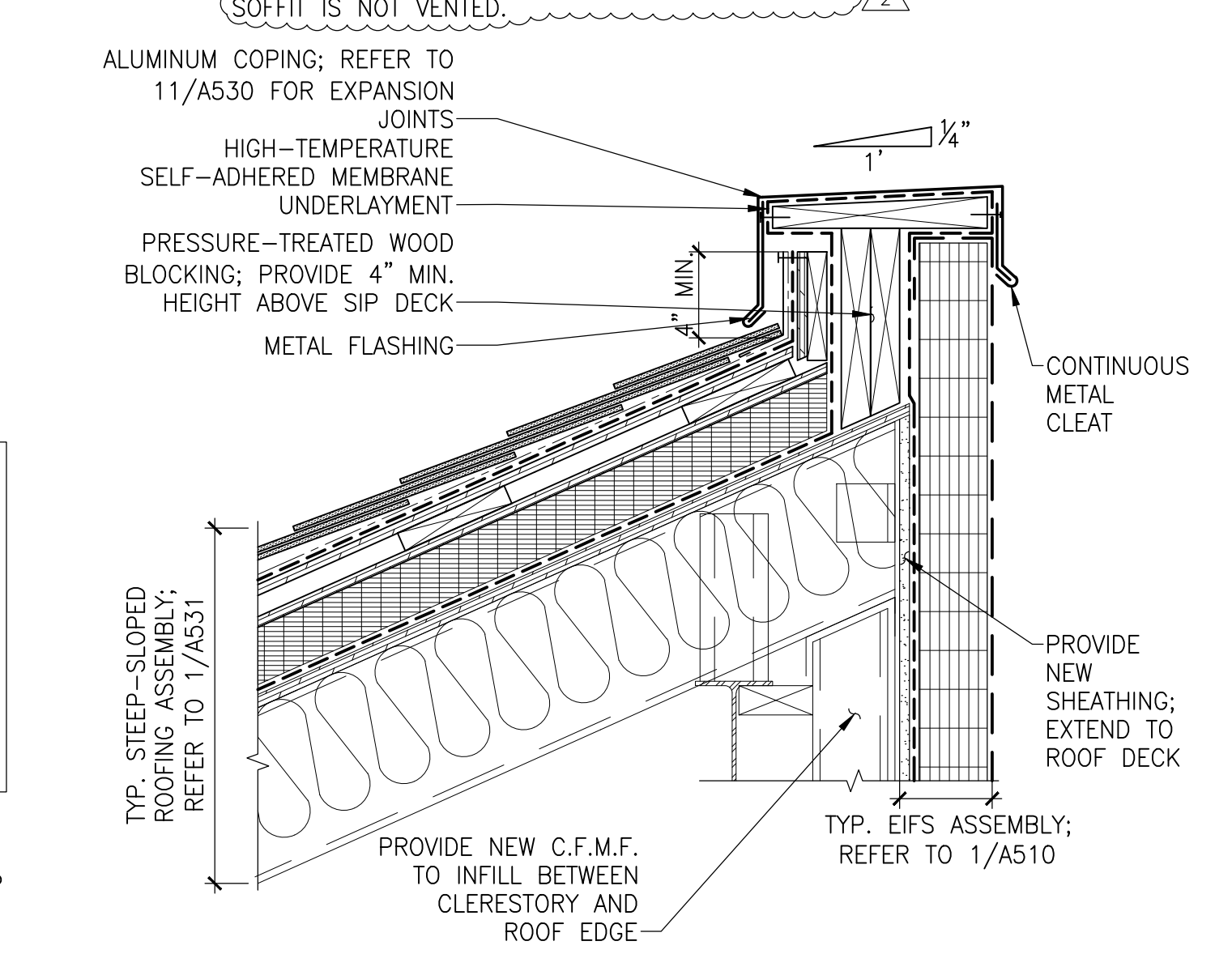
3 STEEP-SLOPED RIDGE AT RISING WALL
1 1/2" = 1'-0"



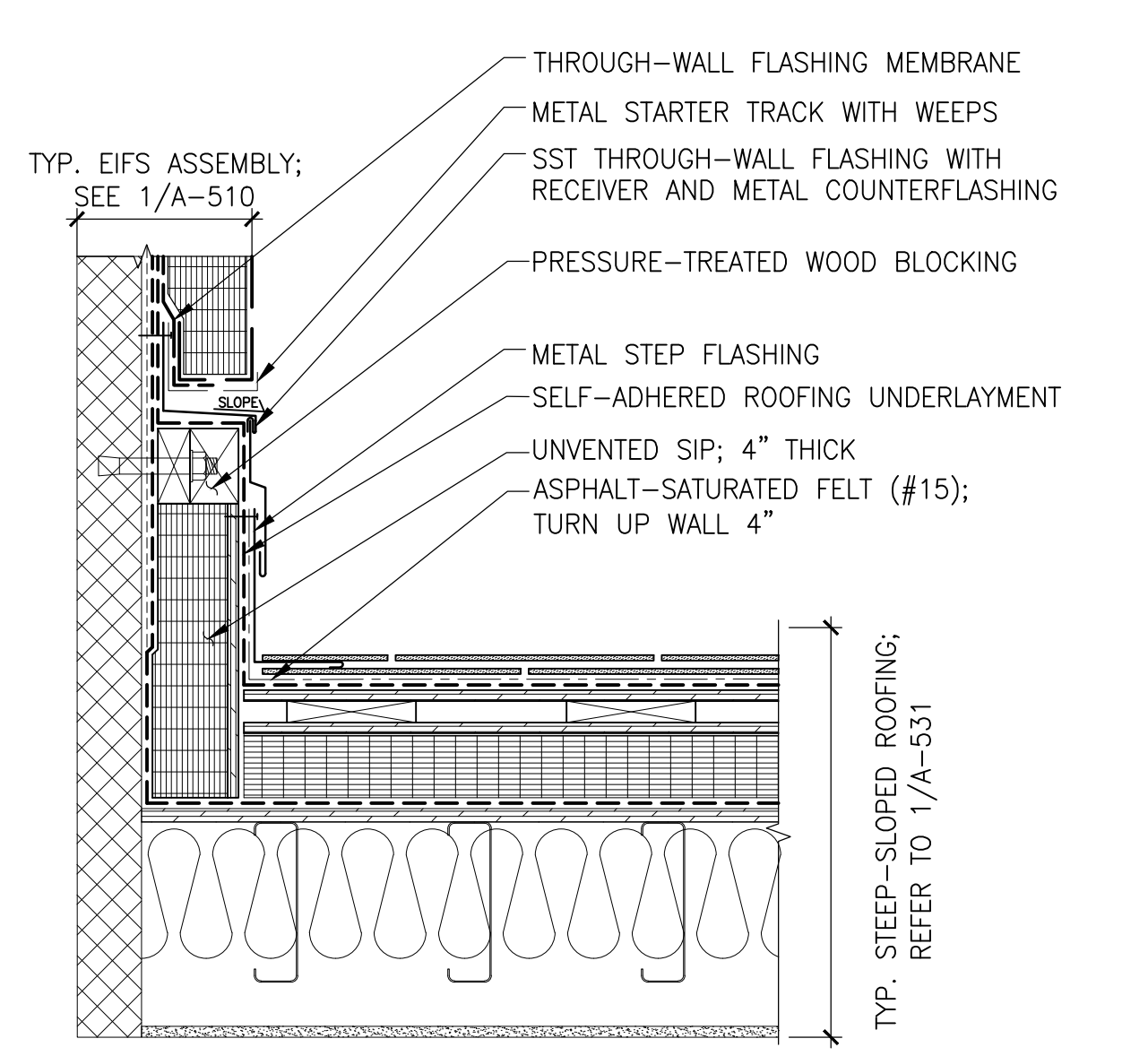
4 STEEP-SLOPED ROOF PARAPET
1 1/2" = 1'-0"



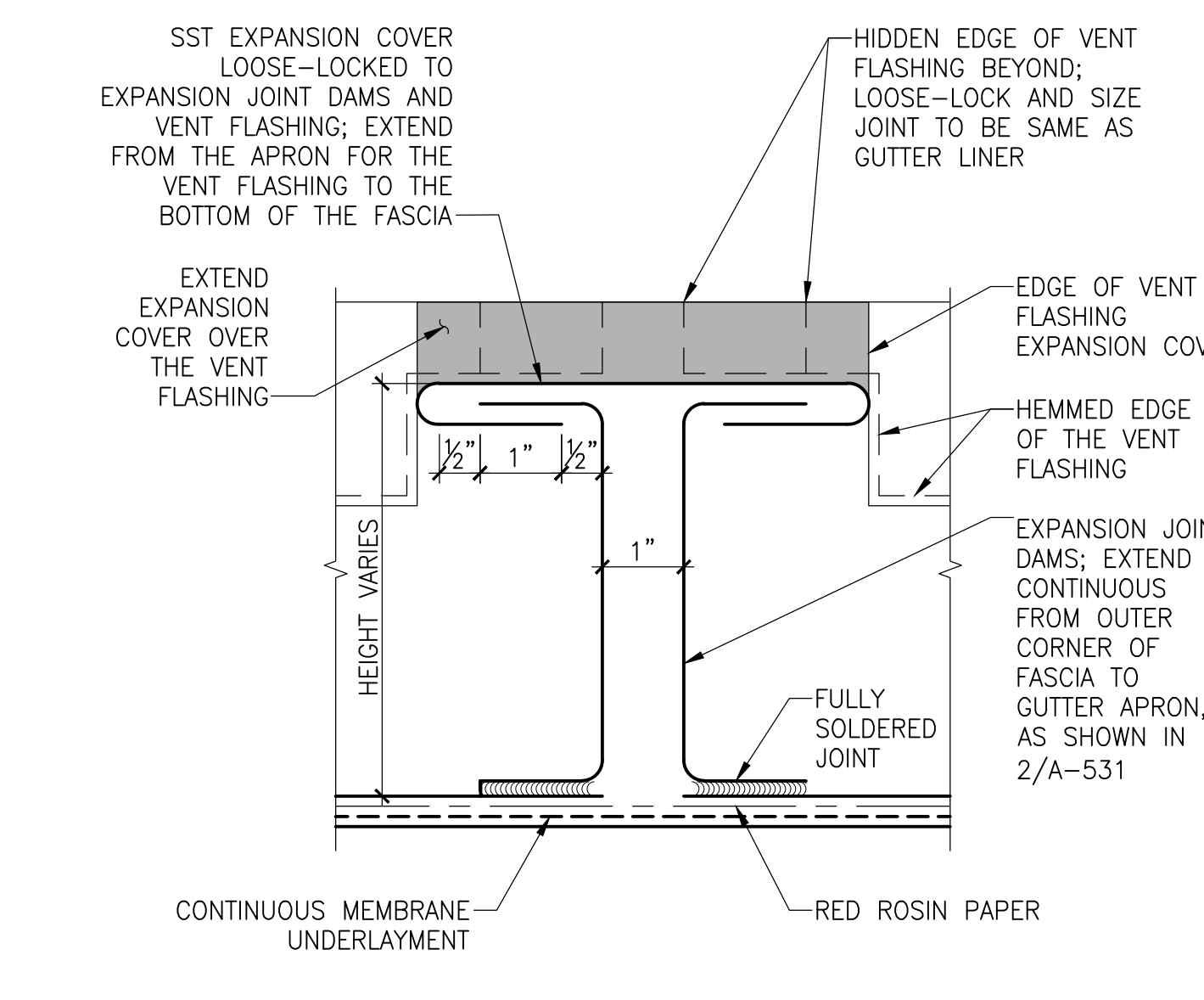
5 CLERESTORY ROOF AT LOW-SLOPED ROOF
1 1/2" = 1'-0"



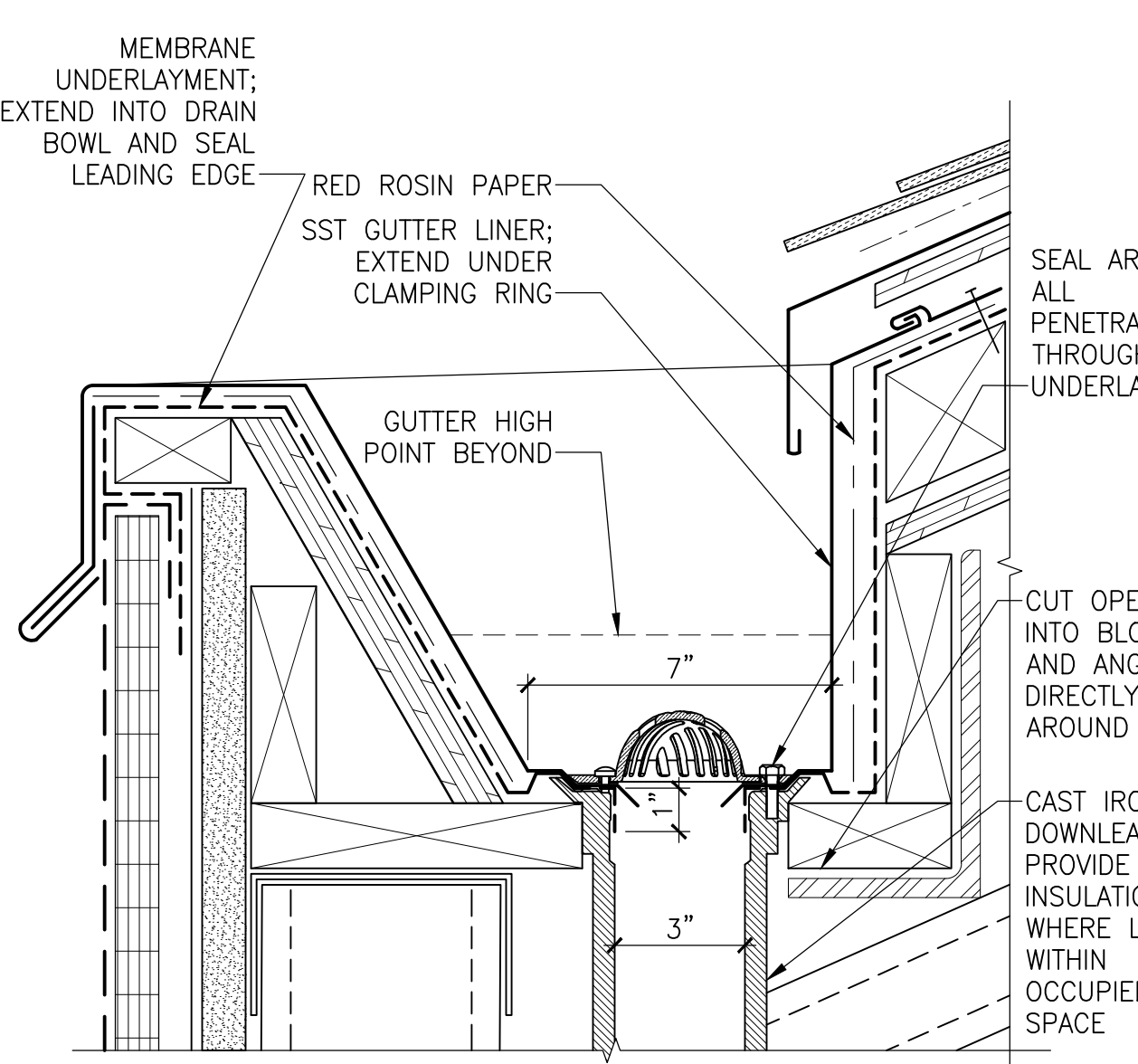
6 CLERESTORY AT UPPER ROOF EDGE
1 1/2" = 1'-0"



7 CLERESTORY ROOF AT RISING WALL
1 1/2" = 1'-0"



8 GUTTER EXPANSION JOINT
6" = 1'-0"



9 STEEP-SLOPED ROOF GUTTER DRAIN
3" = 1'-0"

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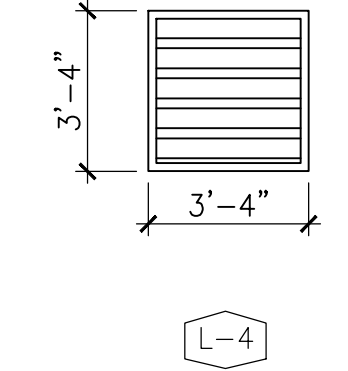
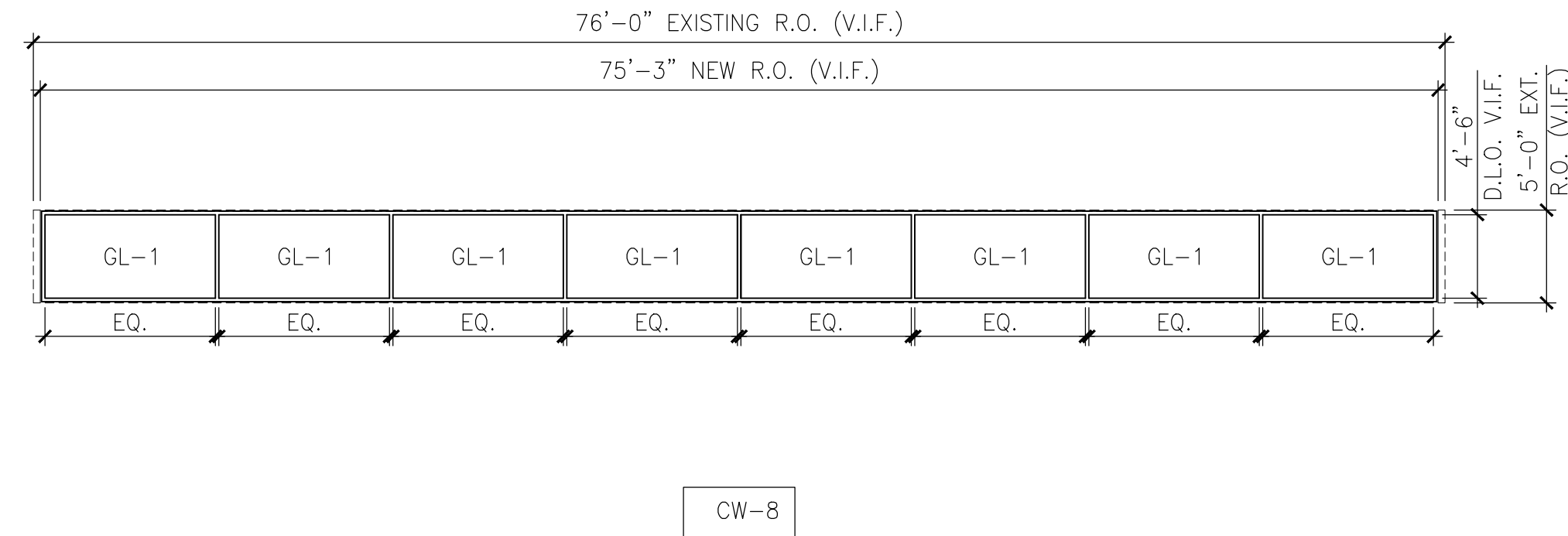
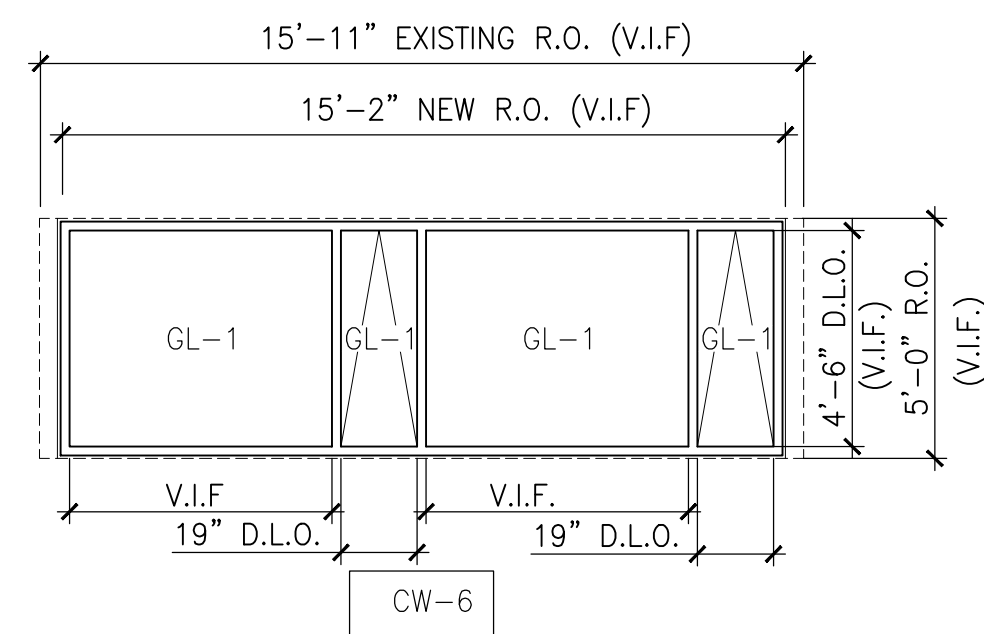
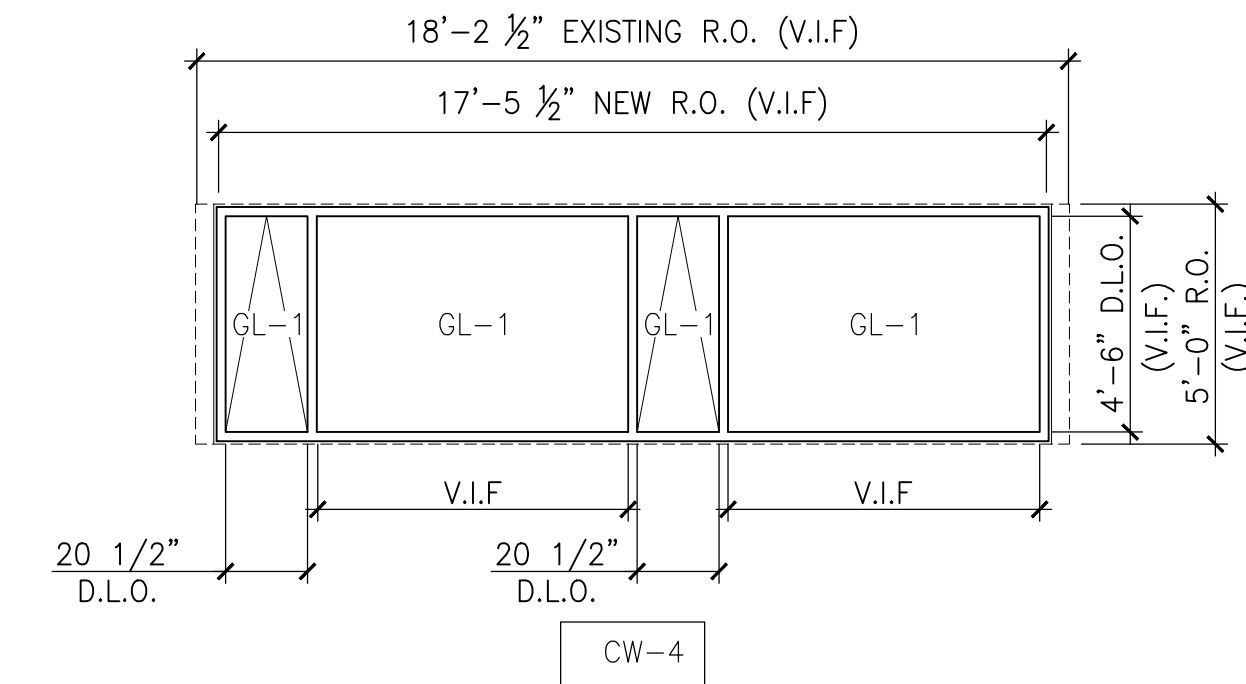
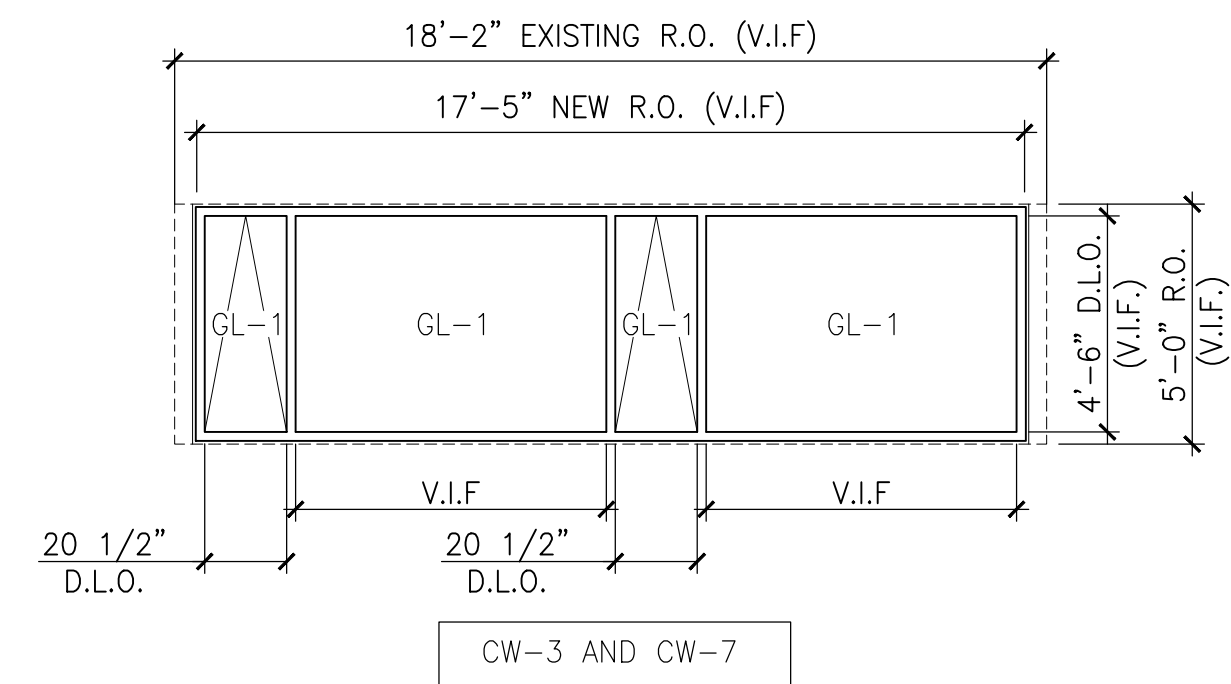
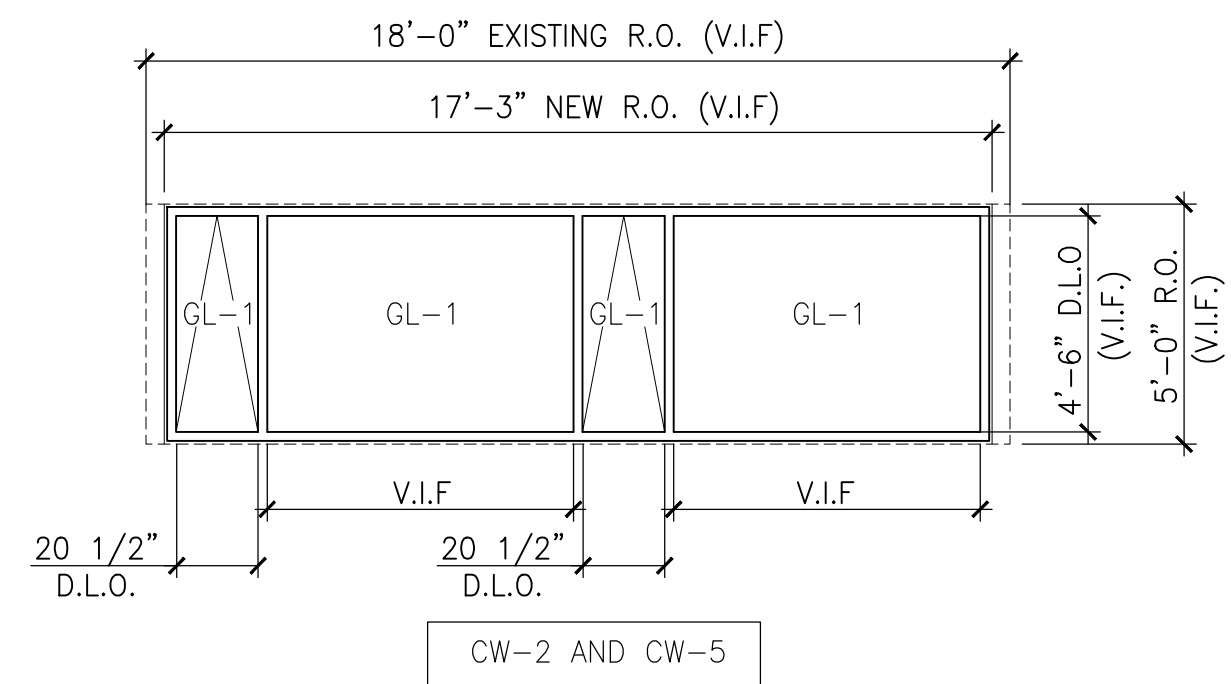
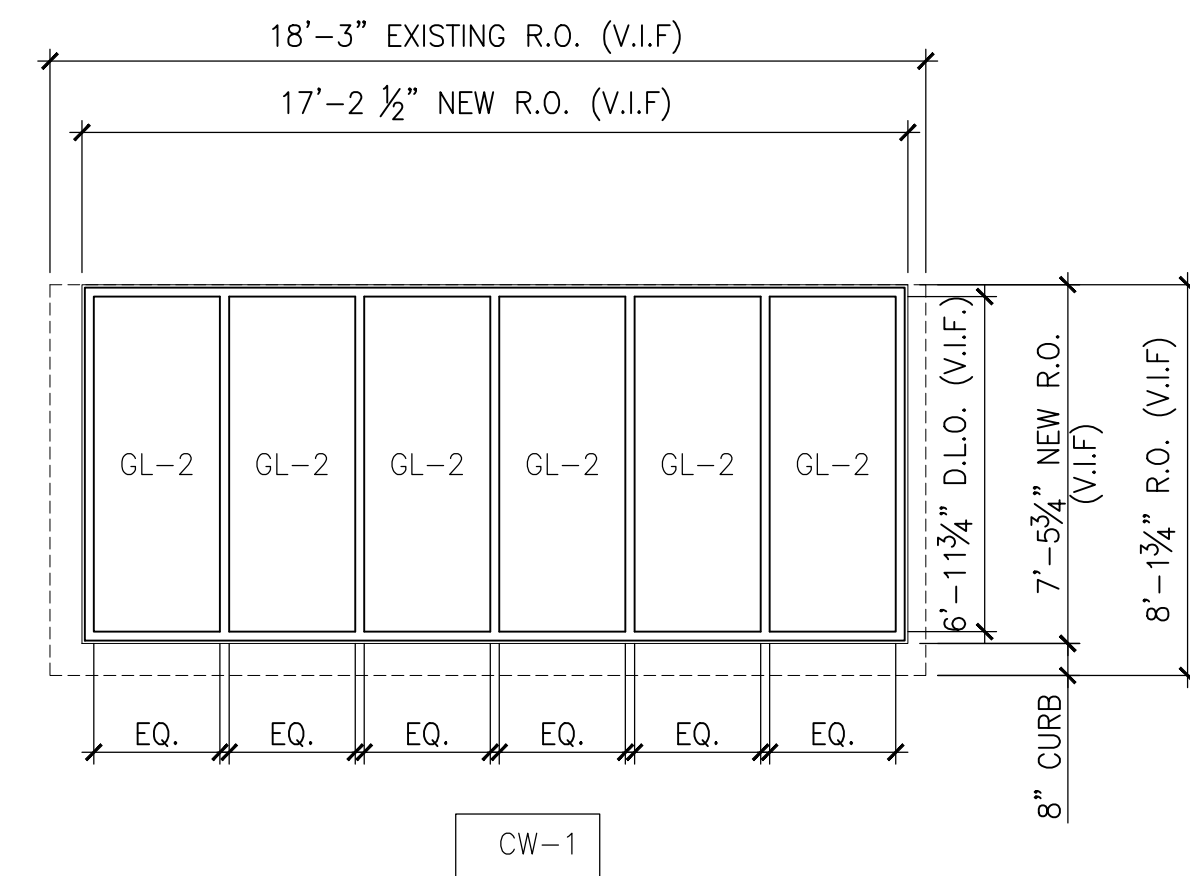
**STEEP-SLOPE
ROOFING DETAIL**

Drawing Title

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|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn GSS | Approved DSS | Scale AS SHOWN |

Drawing No.
A531

Seal



NOTE: VERIFY ALL DIMENSIONS IN FIELD

CURTAIN WALLS

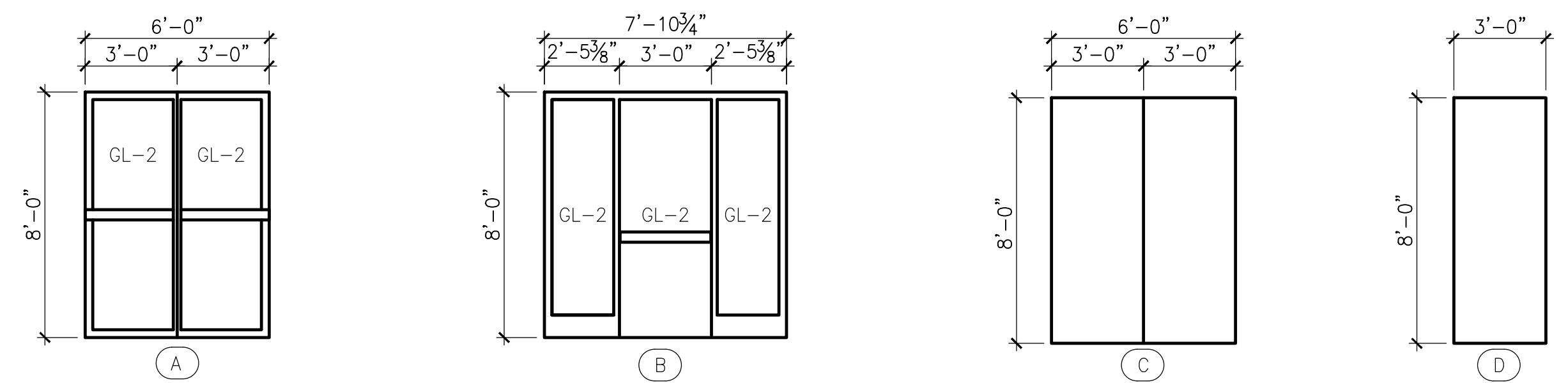
LOUVER

N.T.S

1/4" = 1'-0"

DOOR SCHEDULE

| NO | LOCATION | TYPE | SIZE | DOOR LEAF MATL | DOOR LEAF PQMT | FRAME MATL | FRAME PQMT | FIRE RATING | THRESHOLD DETAILS | HEAD DETAILS | JAMB DETAILS | HARDWARE SET | EMERGENCY EXIT | REMARKS |
|----|-------------------|------|---------------|----------------|----------------|------------|------------|-------------|-------------------|--------------|--------------|--------------|----------------|------------------|
| 1 | LOBBY | A | 6'-0" X 8'-0" | ALUM/GL | EXT. | ALUM | NEW | TME | 3/A611 | 1/A610 | TBD | 440 | YES | |
| 2 | LOBBY | A | 6'-0" X 8'-0" | ALUM/GL | EXT. | ALUM | NEW | TME | 3/A611 | 1/A610 | TBD | 442 | YES | |
| 15 | ELEC. EQUIP. ROOM | D | 3'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 815 | NO | |
| 21 | N. ENTRANCE | B | 3'-0" X 8'-0" | ALUM/GL | NEW | ALUM | NEW | TME | 3/A611 | 1/A611 | 5/A610 | 431 | YES | |
| 22 | HALLWAY #3 | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 1/A611 | 2/A611 | 322 | YES | |
| 30 | DRESSING ROOM | A | 2'-6" X 6'-8" | HM | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 814 | NO | |
| 34 | POOL MNGR. ROOM | D | 3'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 814 | NO | |
| 35 | CLASSROOM | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 1/A611 | TBD | 816 | YES | |
| 36 | LOBBY | C | 6'-0" X 8'-0" | FRP | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 323 | NO | PAINT EXT. FRAME |
| 37 | LOBBY | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | TBD | TBD | TBD | 325 | YES | |
| 38 | HALLWAY #2 | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 325 | YES | |
| 40 | STORAGE #4 | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 823 | NO | |
| 41 | GYMNASIUM | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 322 | YES | |
| 42 | GYMNASIUM | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 326 | YES | |
| 43 | STORAGE #3 | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 823 | NO | |
| 45 | STORAGE #3 | D | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 813 | NO | |
| 46 | GYMNASIUM | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 312 | YES | |
| 47 | MECH. ROOM #3 | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 813 | NO | |
| 48 | MECH. ROOM #2 | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 813 | NO | |
| 49 | GYMNASIUM | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 312 | YES | |
| 50 | MECH. ROOM #1 | D | 3'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 5/A611 | 2/A611 | 813 | NO | |
| 51 | STORAGE #2 | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | 3/A611 | EXT. | EXT. | 824 | NO | |
| 52 | GYMNASIUM | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | 3/A611 | EXT. | EXT. | 320 | YES | |
| 53 | GYMNASIUM | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | 3/A611 | EXT. | EXT. | 320 | YES | |
| 54 | STORAGE #1 | C | 6'-0" X 8'-0" | HM | NEW | HM | EXT. | TME | 3/A611 | EXT. | EXT. | 824 | NO | |
| 58 | HALLWAY #3 | C | 6'-0" X 8'-0" | FRP | NEW | HM | EXT. | TME | EXT. | EXT. | EXT. | 324 | YES | PAINT EXT. FRAME |
| 61 | POOL DECK | C | 6'-0" X 8'-0" | FRP | NEW | FRP | NEW | TME | 3/A611 | 2/A610 | 2/A611 | 322 | YES | |
| 63 | POOL | C | 6'-0" X 8'-0" | FRP | NEW | FRP | NEW | TME | 3/A611 | 2/A610 | 2/A611 | 326 | YES | |
| 66 | POOL DECK | C | 6'-0" X 8'-0" | FRP | NEW | FRP | NEW | TME | 3/A611 | 2/A610 | 2/A611 | 322 | YES | |
| 67 | POOL EQUIP. ROOM | D | 6'-0" X 8'-0" | FRP | NEW | FRP | NEW | TME | 3/A611 | 2/A610 | 2/A611 | 813 | NO | |
| 70 | WT. ROOM | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 1/A610 | TBD | 322 | YES | |
| 71 | WT. ROOM | C | 6'-0" X 8'-0" | HM | NEW | HM | NEW | TME | 3/A611 | 1/A610 | TBD | 322 | YES | |



NOTE: VERIFY ALL DIMENSIONS IN FIELD

DOOR TYPES

NOTE: REFER TO EY SERIES DRAWINGS AND DIVISION 28 SPECIFICATIONS FOR INFORMATION REGARDING DOOR SECURITY

NOTE: OPENINGS AT REMOVED EXTERIOR DOORS SERVING AS EXIT DOORS MUST BE MAINTAINED FOR APPROPRIATE EGRESS; REPLACEMENT DOORS MUST HAVE APPROPRIATE PANIC HARDWARE IN ACCORDANCE WITH IBC SECTION 1010.1.9.9 AND SECTION 1010.1.10.

DOOR & FRAME ABBREVIATIONS
 HM-HOLLOW METAL
 AL-ALUMINUM
 SF-STOREFRONT
 CW-CURTAINWALL
 PQMT-PROCUREMENT METHOD
 TME-TO MATCH EXISTING
 FRP-FIBER REINFORCED PLASTIC

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- Cost Estimating Consultant: **Forella Group, LLC.**
9495 Silver King Ct., Suite A, Fairfax, VA 22031, 703.560.2200
- Electrical Consultant: **bkm, Inc.**
1416 Clarkview Road, Baltimore, MD 21209, 410.323.0600

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|----------|------|-------------------------|----|
| 02/22/16 | | Permit Response Set | |
| 01/22/16 | | Bid Set | |
| 11/20/15 | | Pricing/Permit Set | |
| 08/28/15 | | 100% Design Development | |

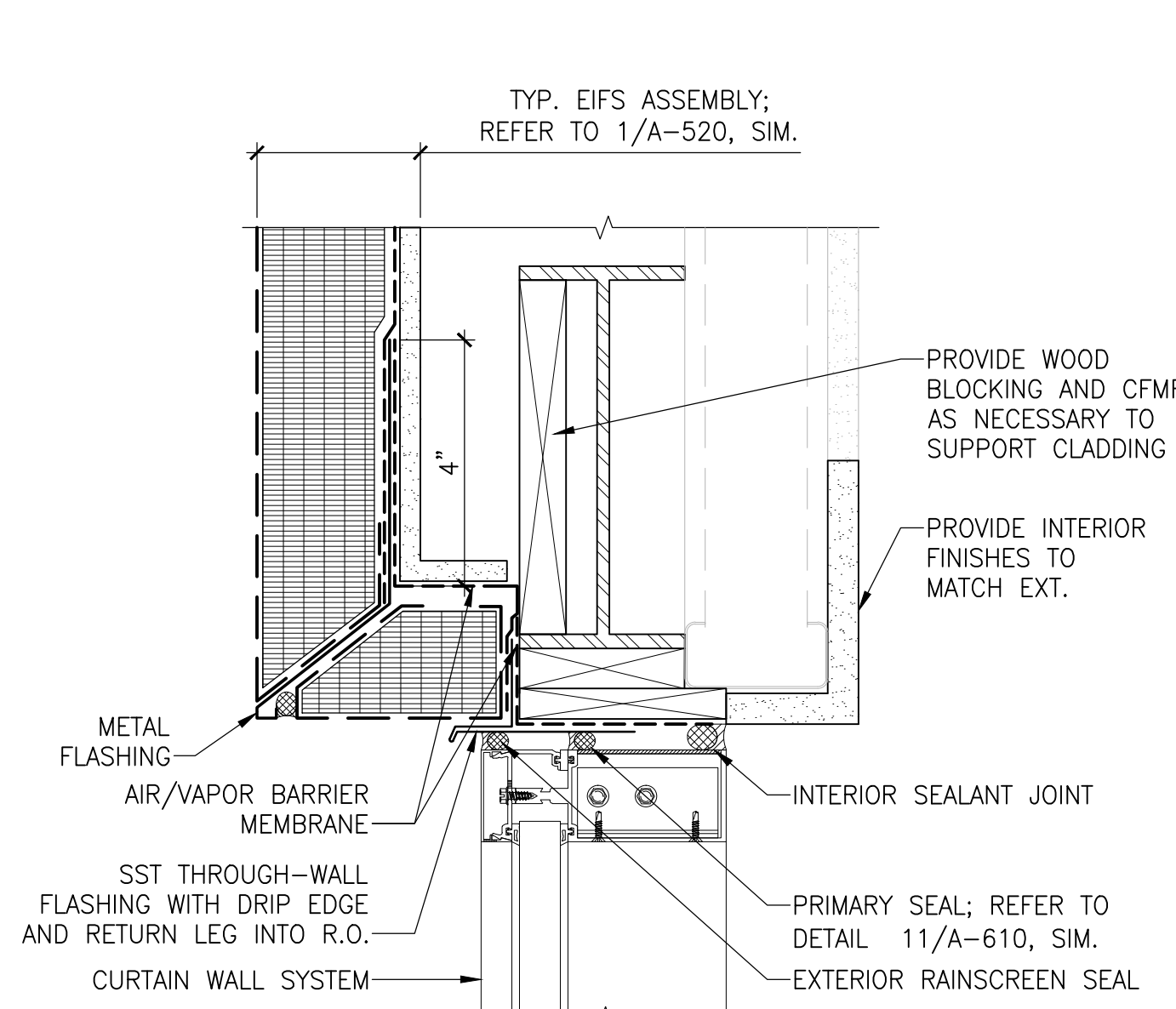
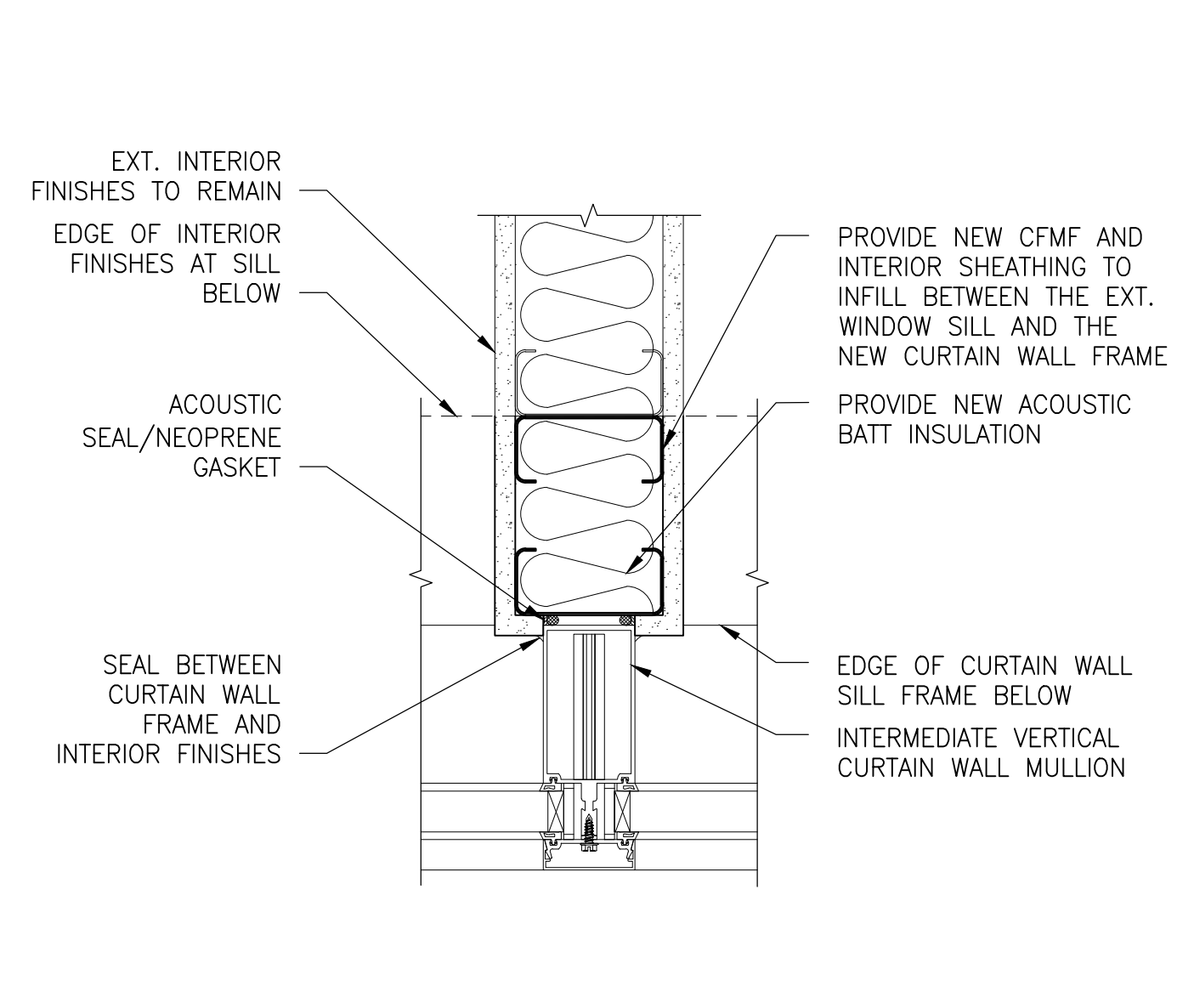
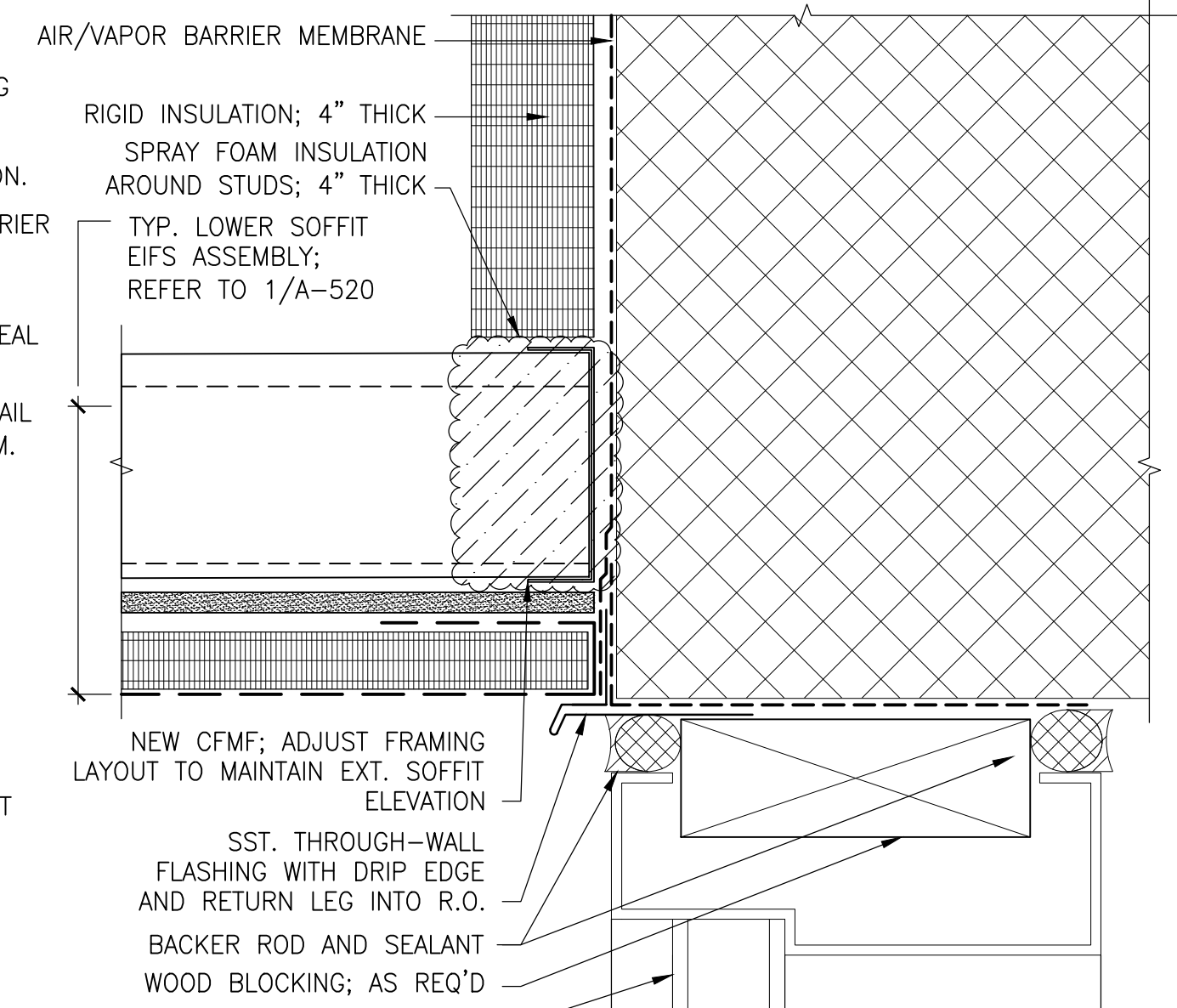
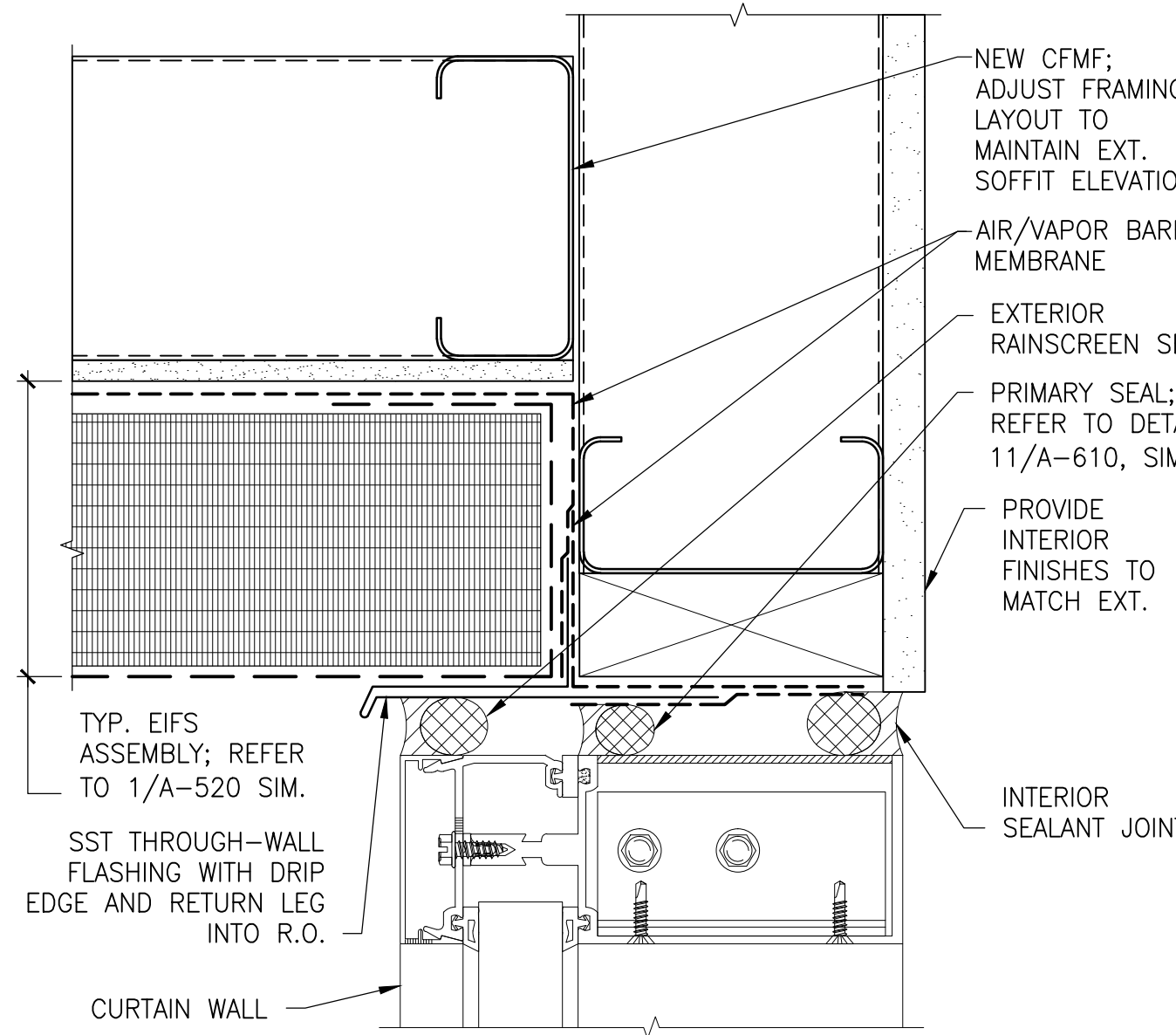
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 GERMANTOWN, MD 20876

Project

FENESTRATION ELEVATIONS

| | | |
|-------------------------|--------------|----------------|
| Project No. 150049.01 | Checked PKF | Date 02/22/16 |
| Drawn CEM/BSR | Approved DSS | Scale AS SHOWN |
| Drawing No. A600 | | |

PERMIT RESPONSE SET

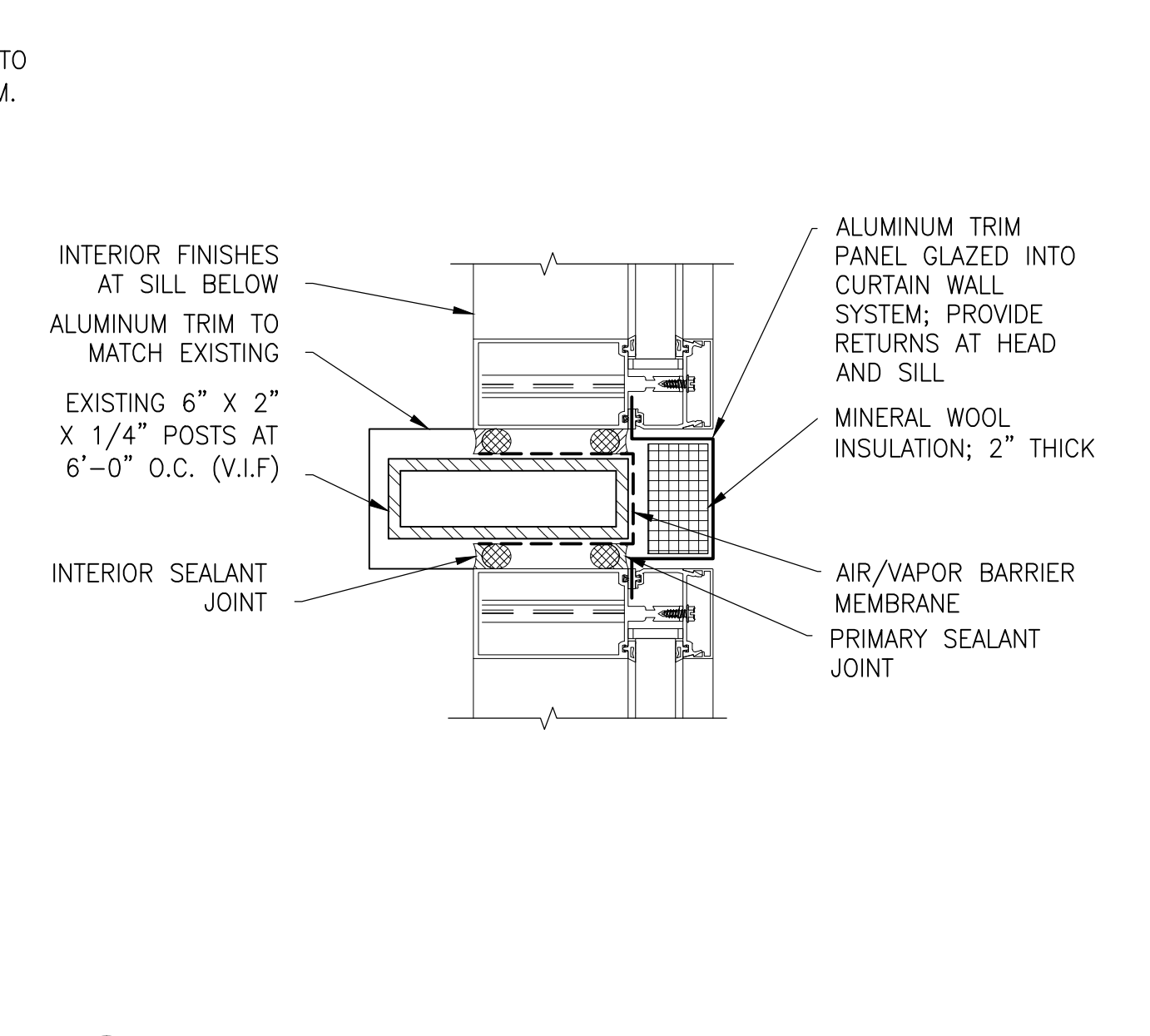
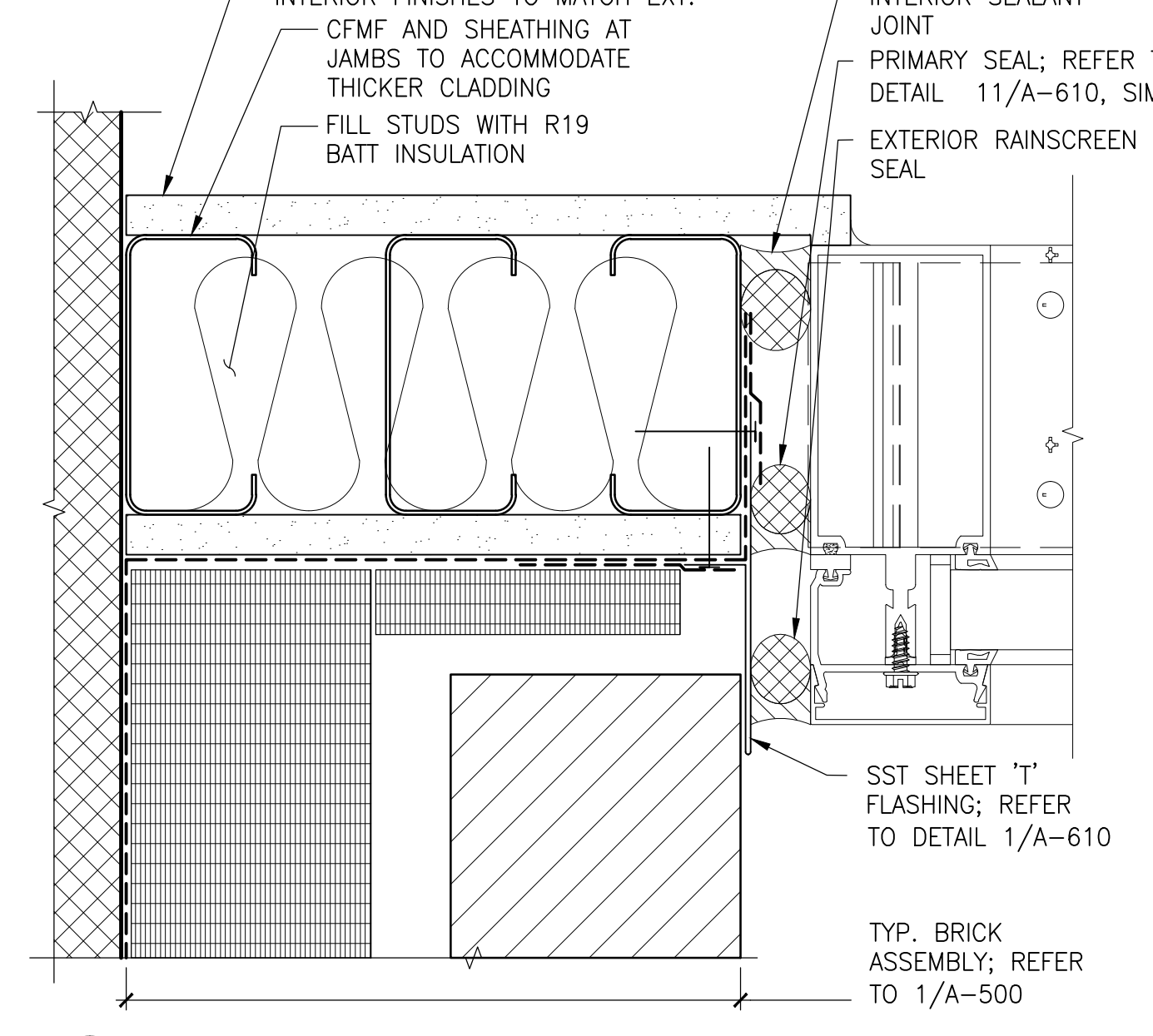
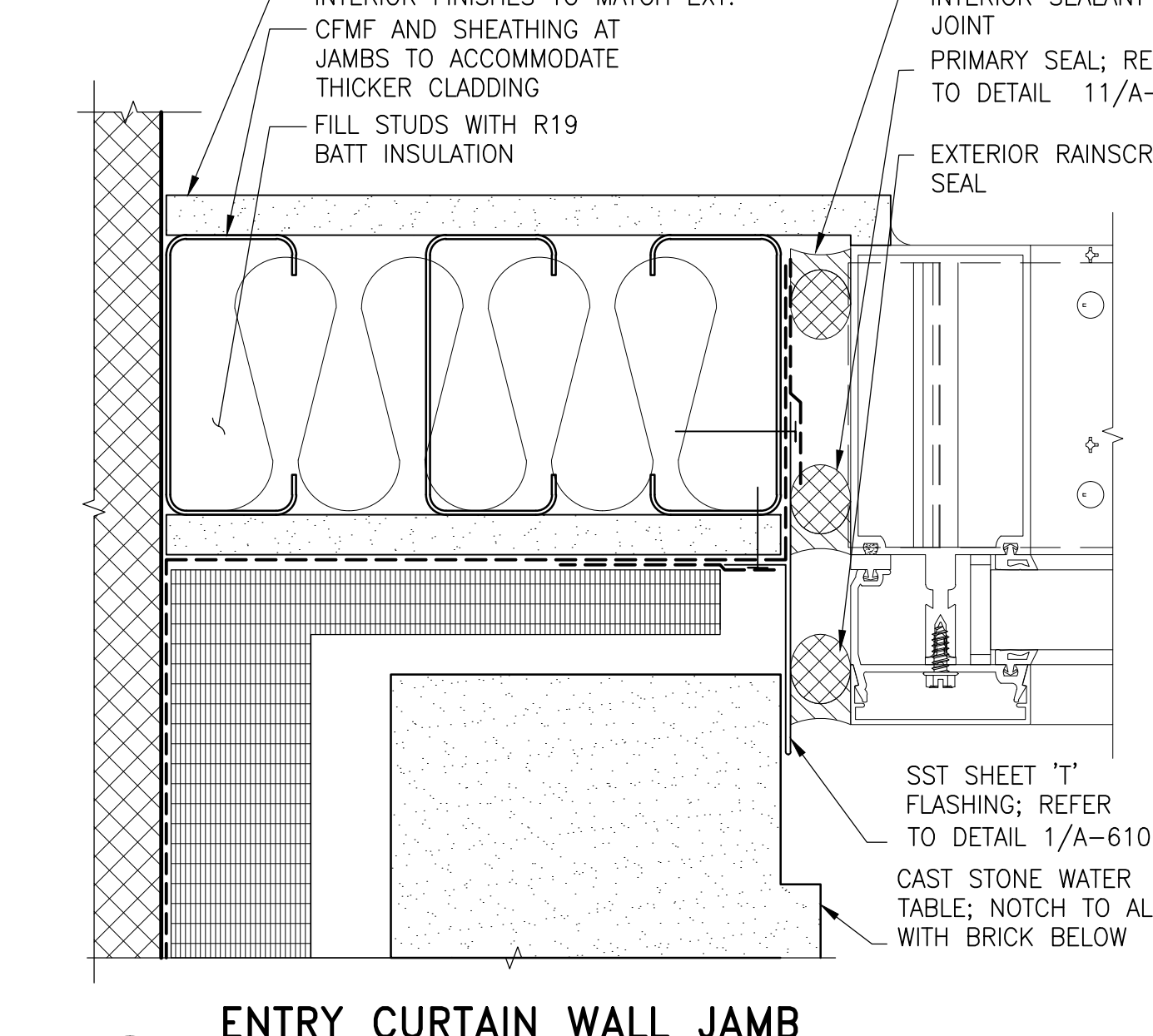
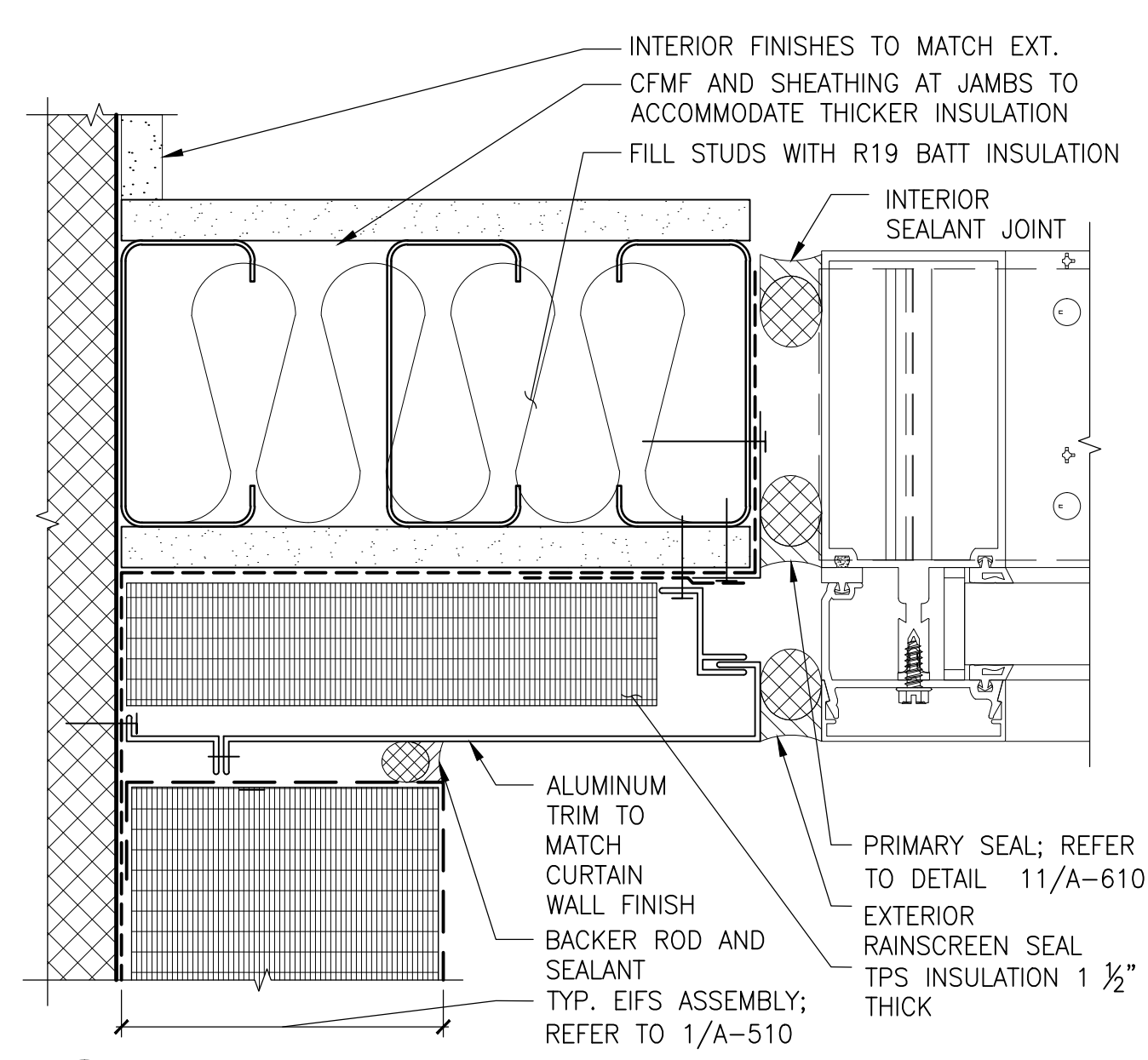


1 CURTAIN WALL HEAD DETAIL, TYP.
 6" = 1'-0"
 NOTE: INTERIOR TRIM NOT SHOWN FOR CLARITY. PROVIDE INTERIOR ALUMINUM TRIM OR INTERIOR FINISHES WORK REQUIRED TO MATCH EXISTING; TYPICAL.

2 TYP. HOLLOW METAL DOOR HEAD
 6" = 1'-0"

3 CURTAIN WALL MULLION AT PARTITION
 3" = 1'-0"

4 CLERESTORY WINDOW HEAD DETAIL
 3" = 1'-0"

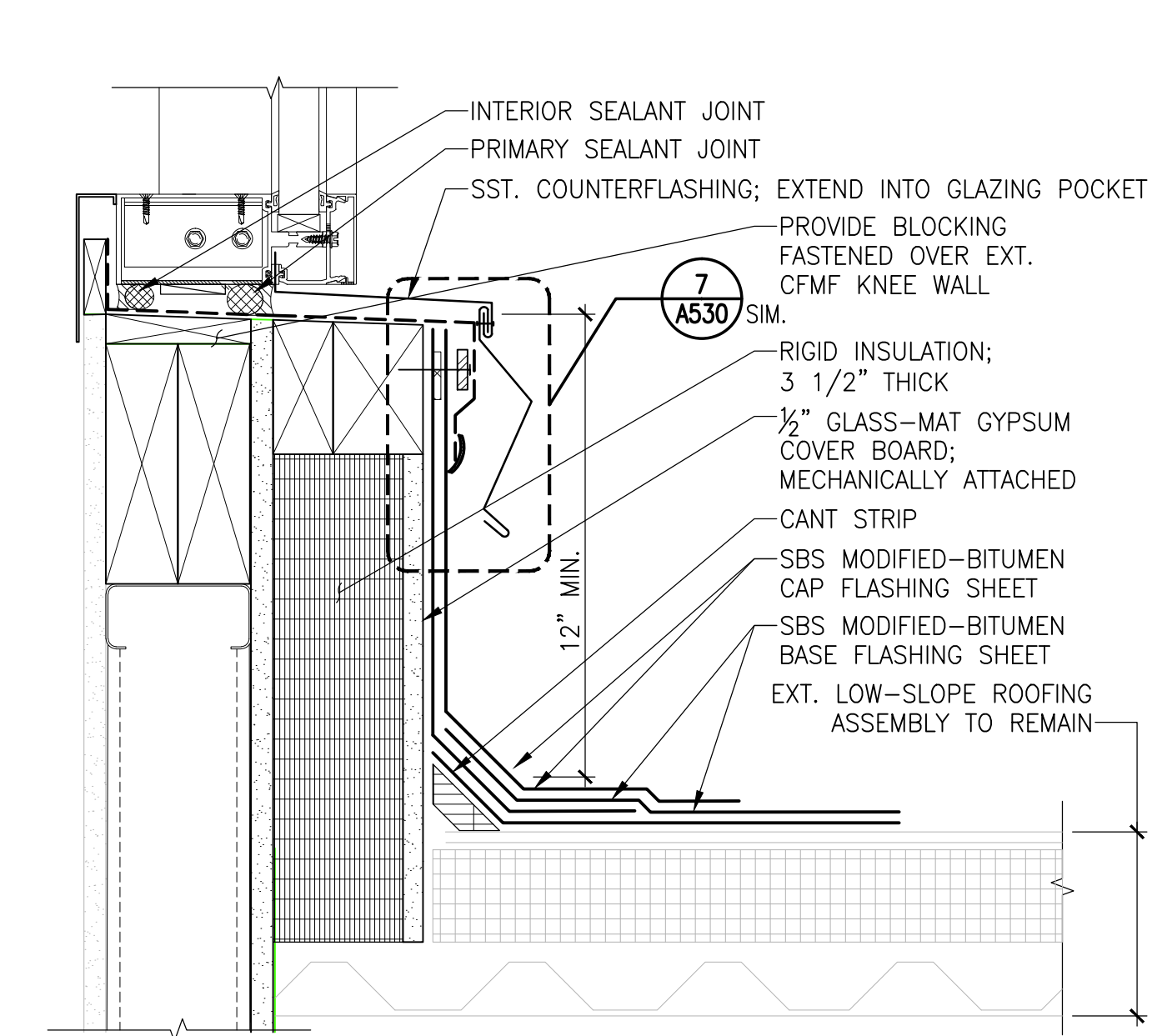
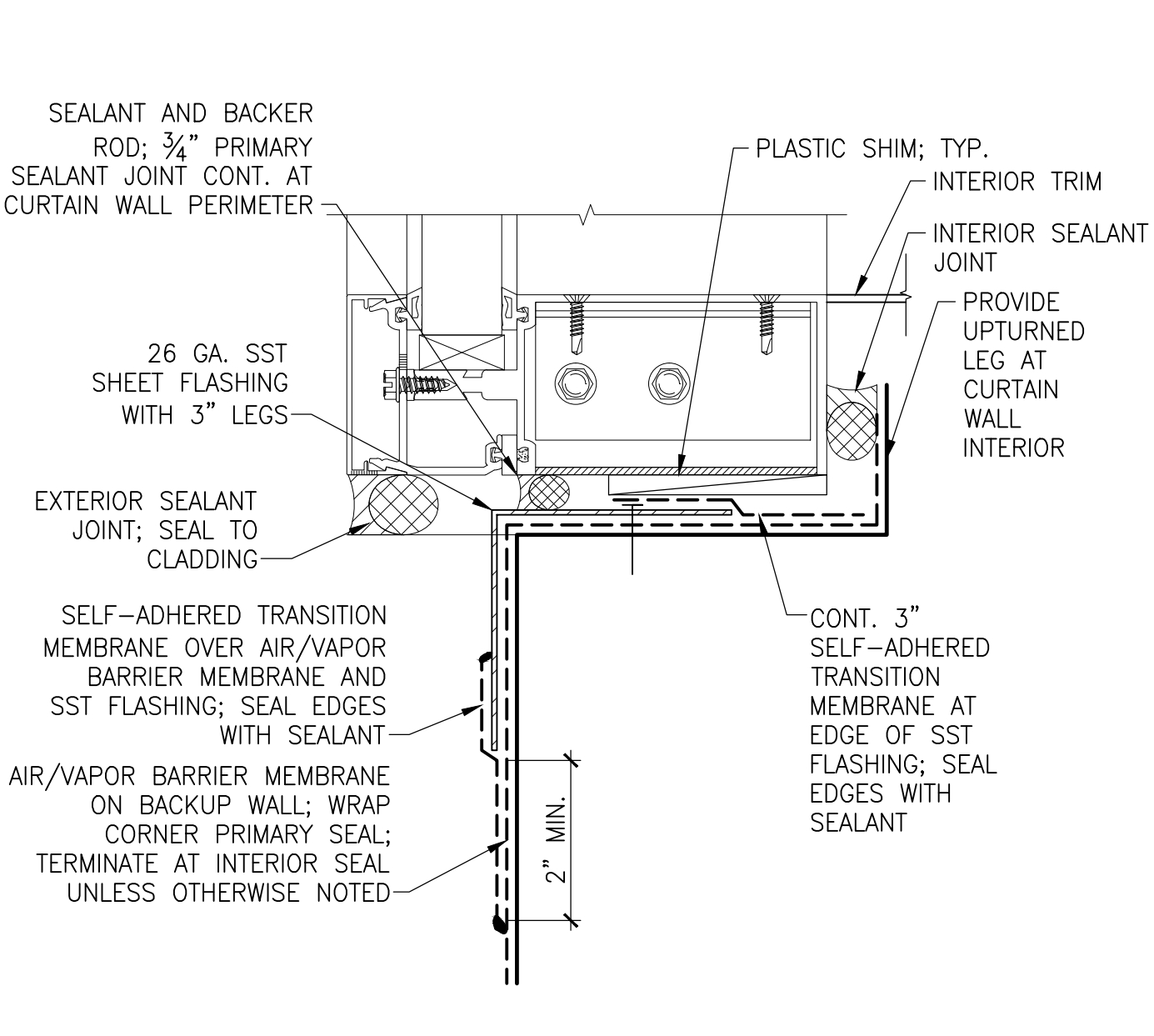
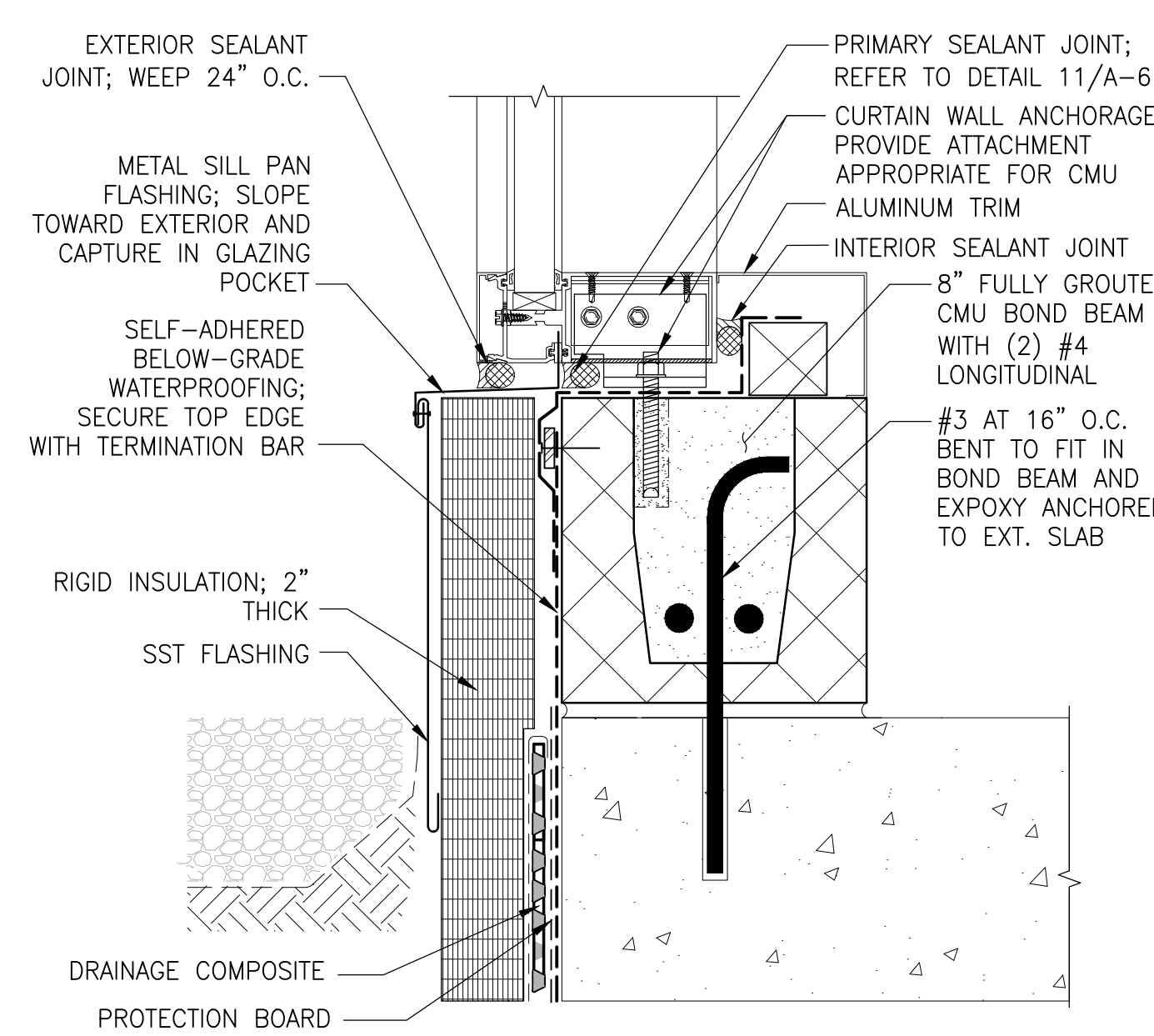
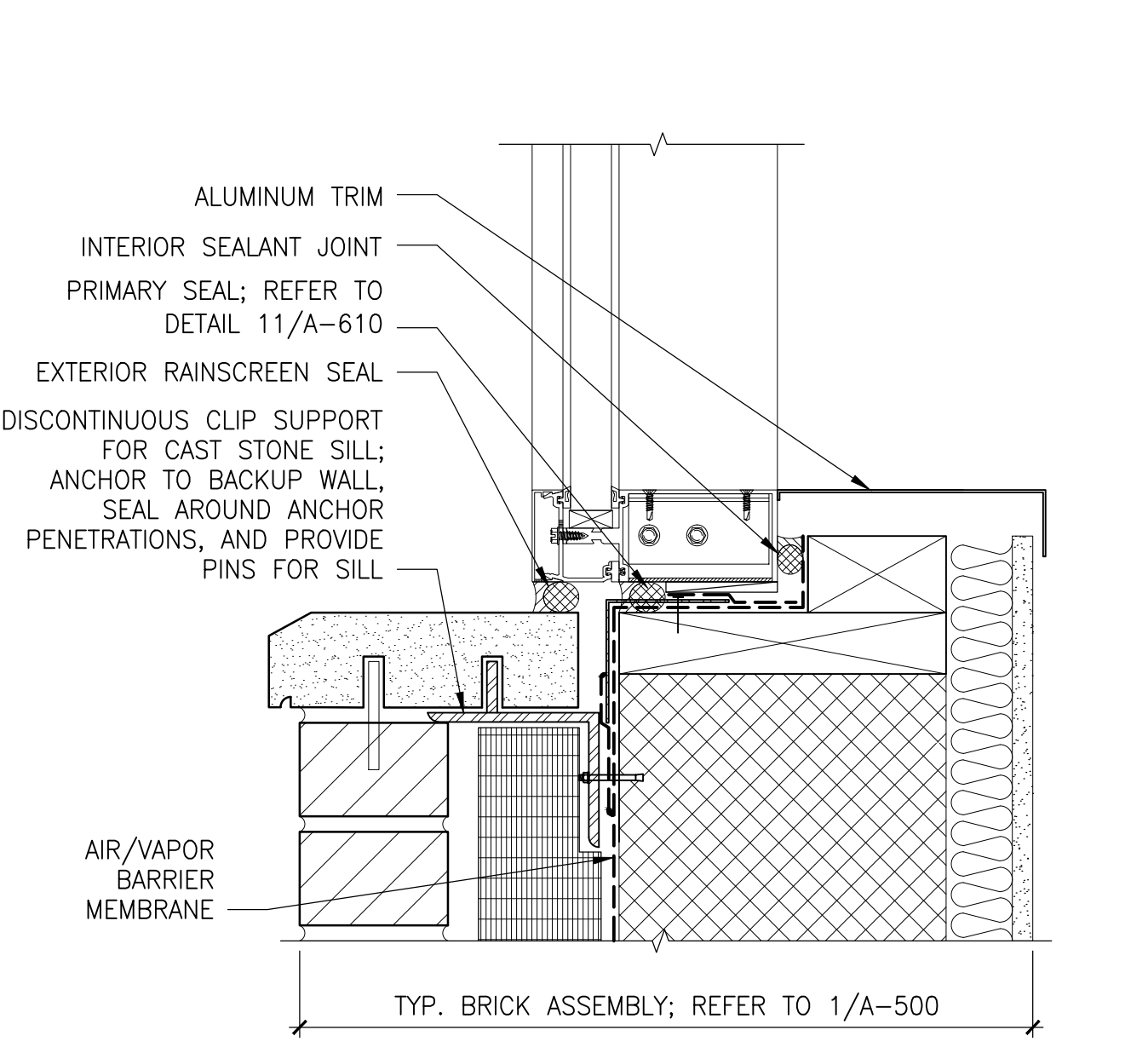


5 CURTAIN WALL JAMB DETAIL, TYP.
 6" = 1'-0"

6 ENTRY CURTAIN WALL JAMB AT CAST STONE
 6" = 1'-0"

7 ENTRY CURTAIN WALL JAMB AT BRICK
 6" = 1'-0"

8 CLERESTORY INTERMEDIATE JAMB
 3" = 1'-0"



9 CURTAIN WALL SILL DETAIL, TYP.
 3" = 1'-0"

10 CURTAIN WALL SILL DETAIL AT GRADE
 3" = 1'-0"

11 PRIMARY SEAL DETAIL
 6" = 1'-0"

12 CLERESTORY WINDOW SILL
 3" = 1'-0"

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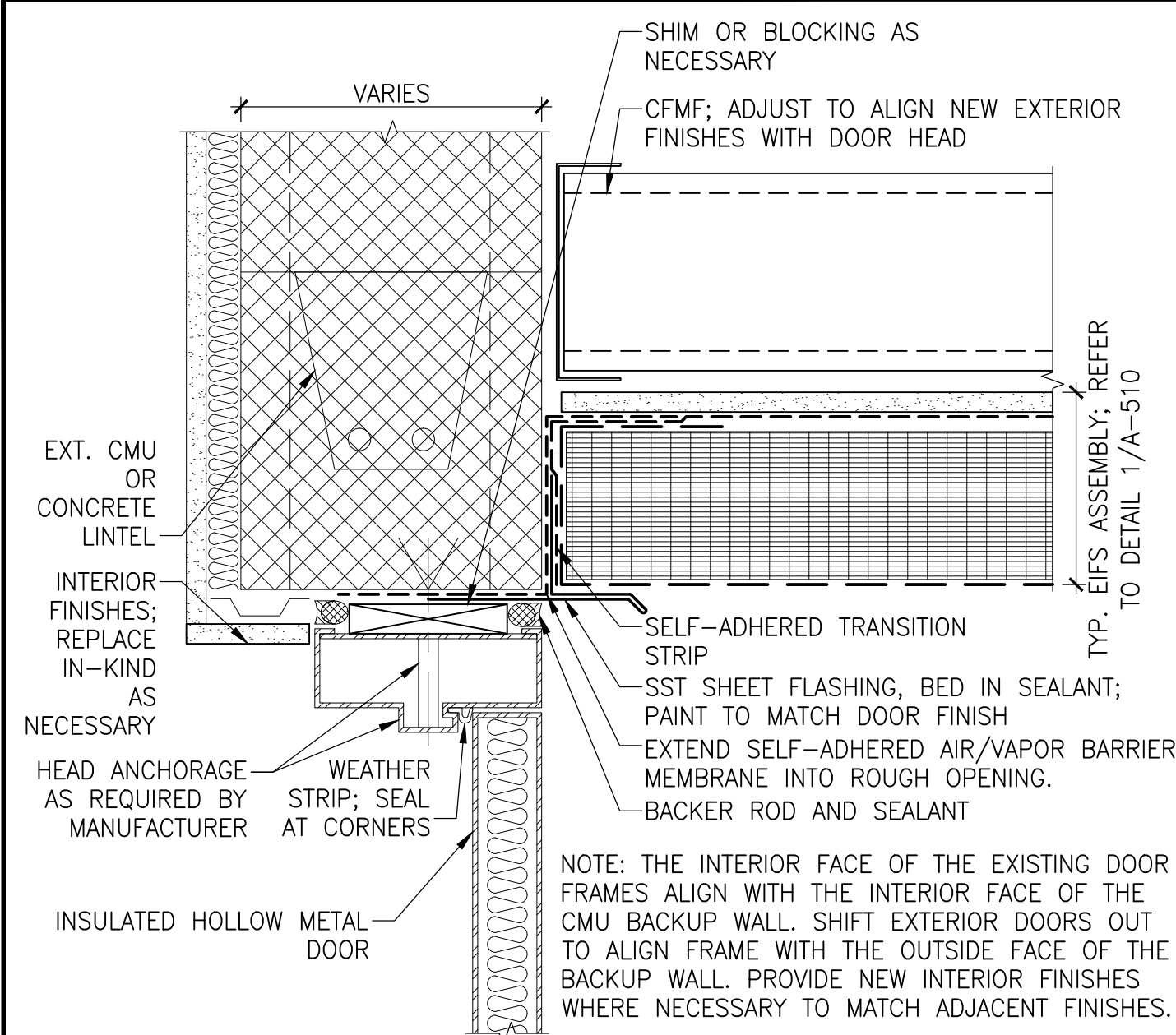
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| 08/28/15 | | 100% Design Development | |

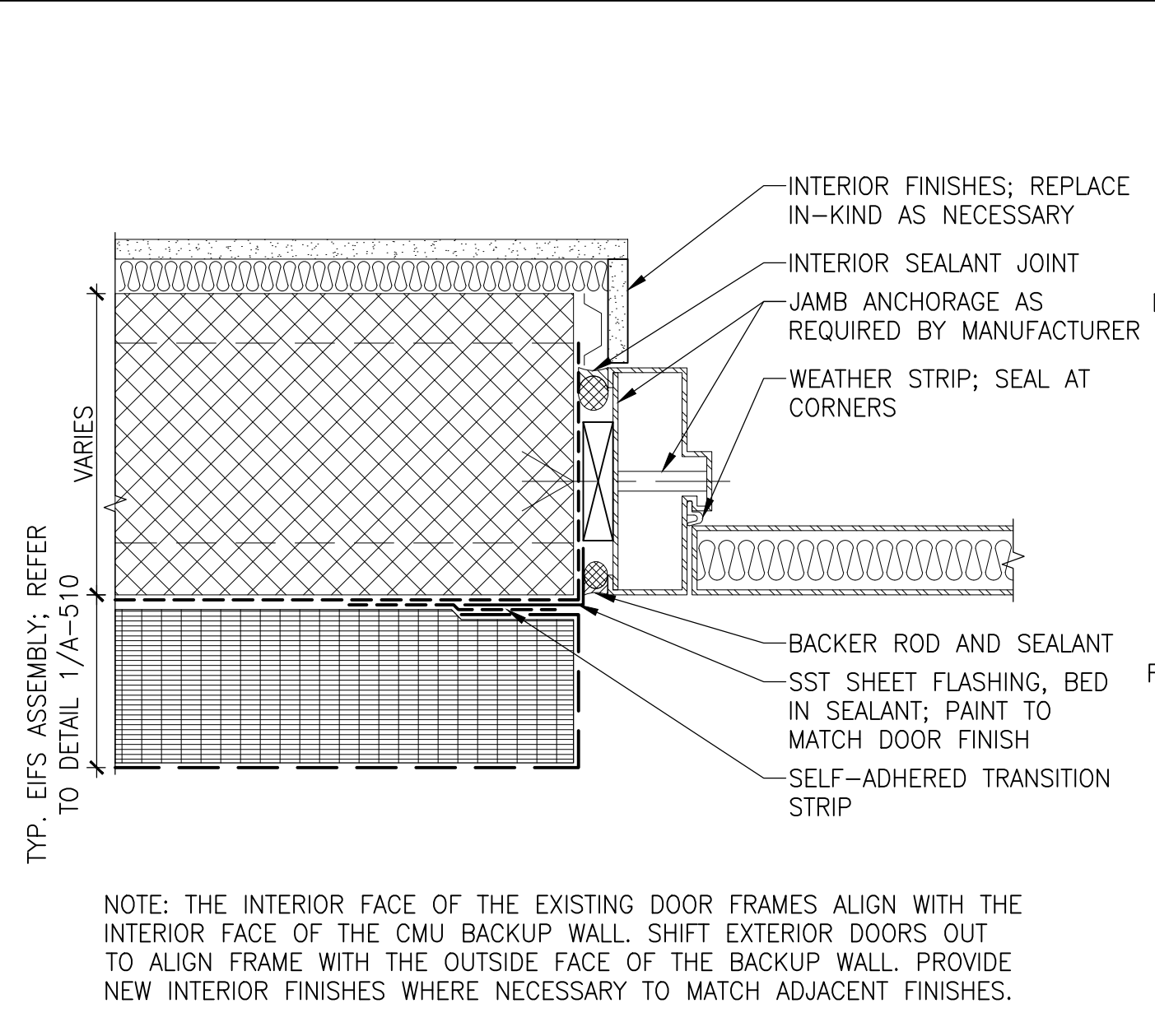
PHYSICAL EDUCATION BLDG EXTERIOR RENOVATION MONTGOMERY COLLEGE GERMANTOWN CAMPUS
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FENESTRATION DETAILS
 Drawing Title
 Project No. 150049.01
 Checked PKF
 Date 02/22/16
 Drawn CEM
 Approved DSS
 Scale AS SHOWN
 Drawing No. **A610**
 Seal

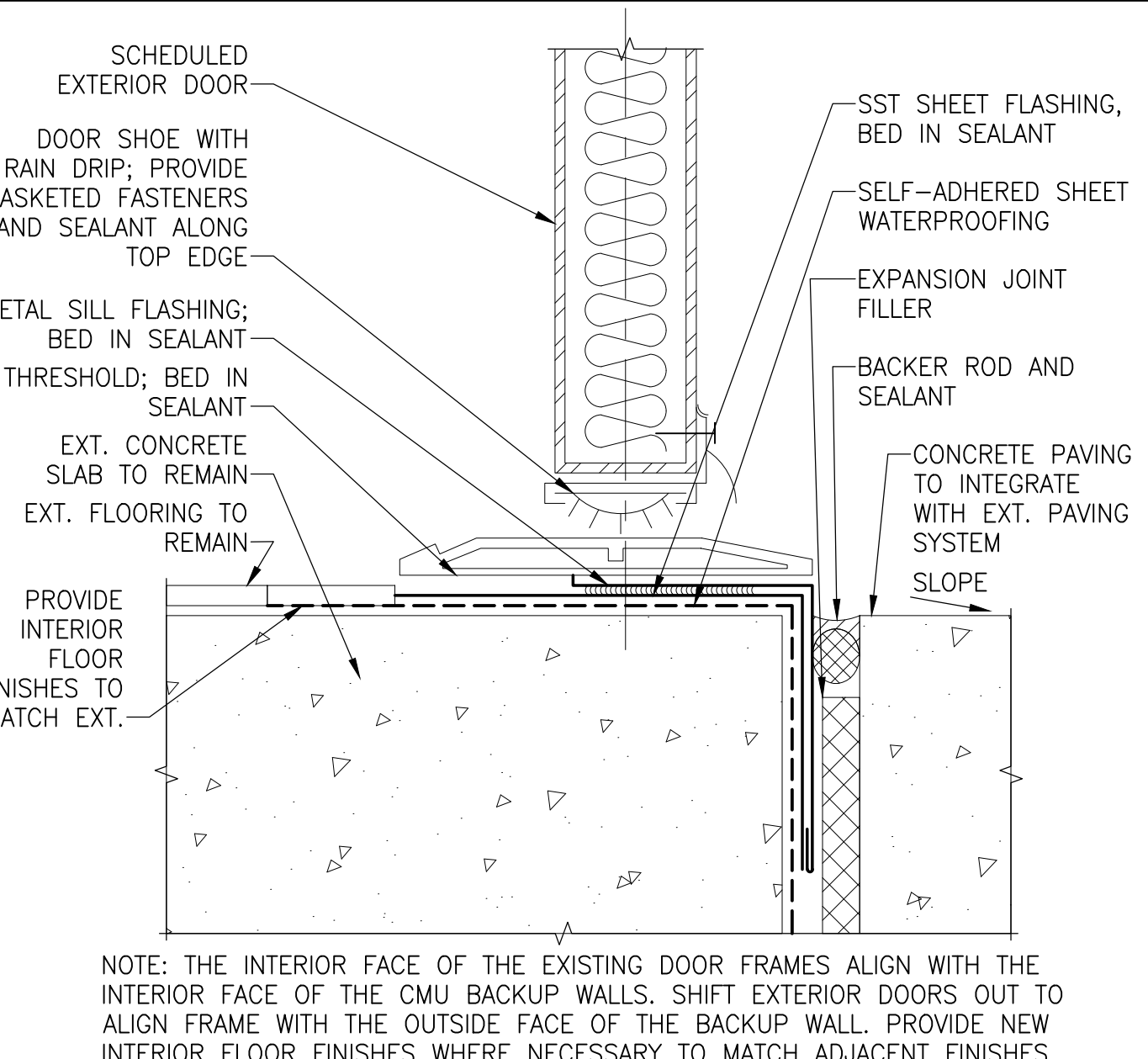
PERMIT RESPONSE SET



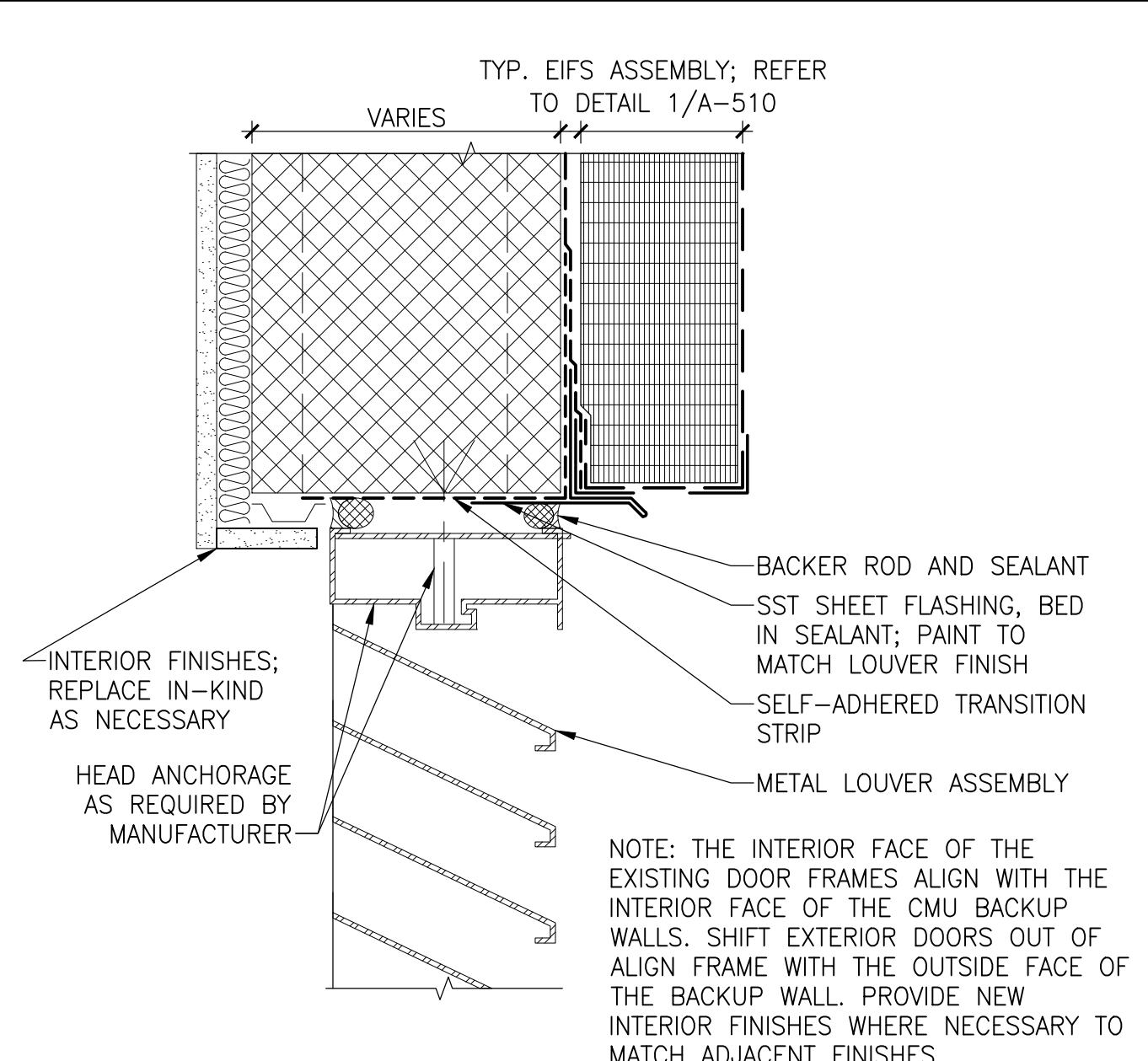
1 HOLLOW METAL DOOR HEAD AT SOFFIT 3" = 1'-0"



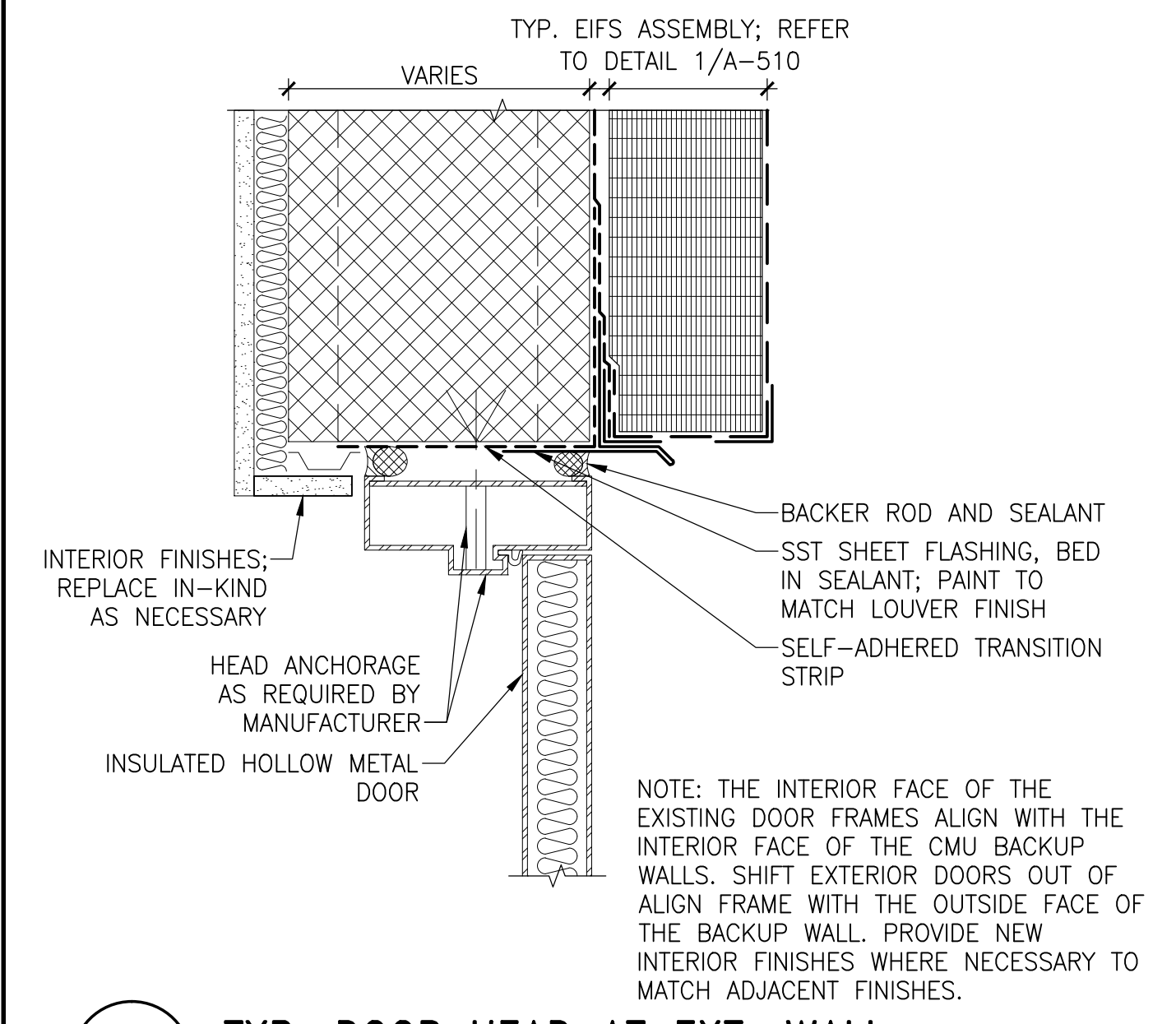
2 TYP. HOLLOW METAL DOOR JAMB AT EIFS 3" = 1'-0"



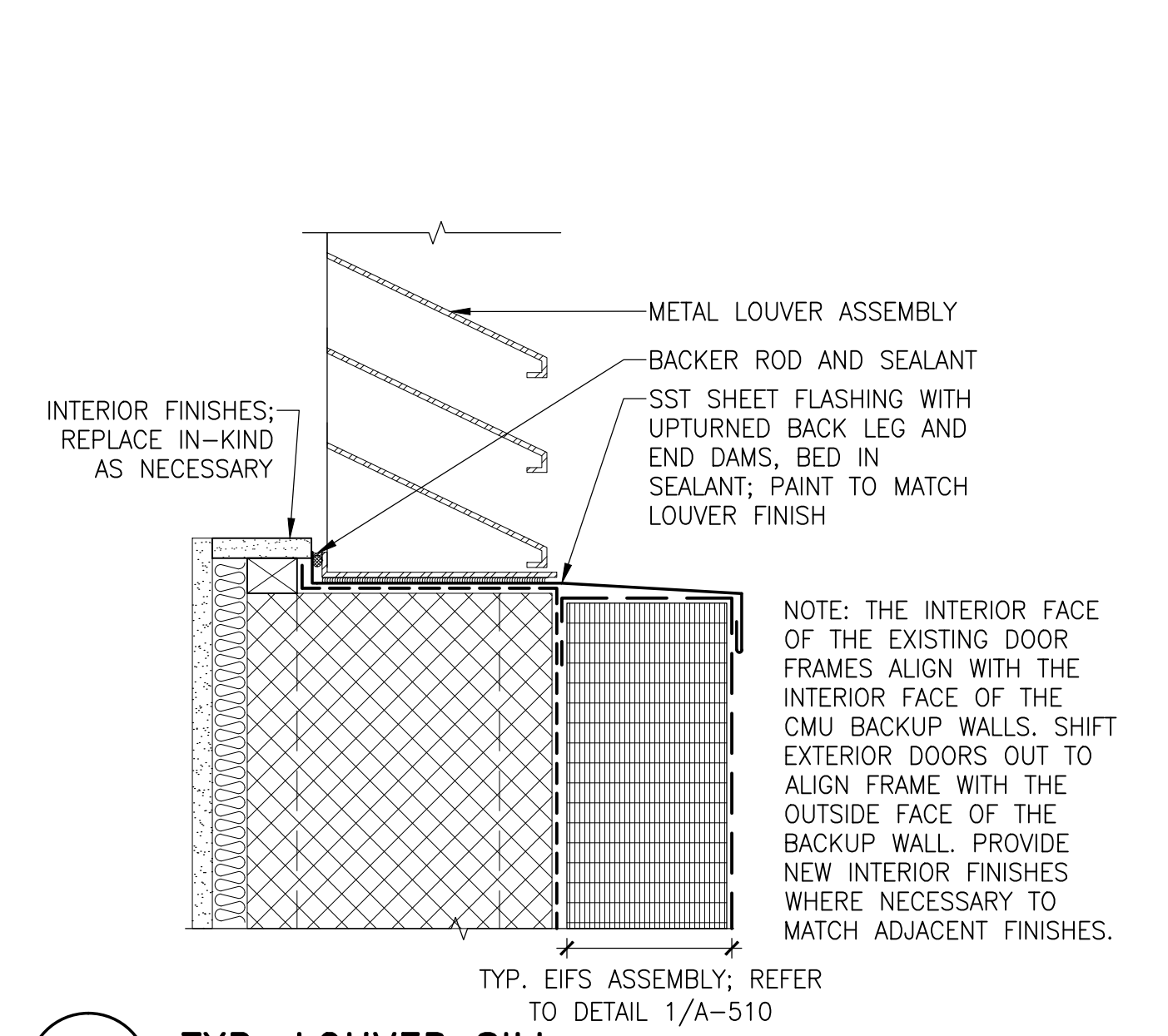
3 TYP. DOOR THRESHOLD DETAIL 6" = 1'-0"



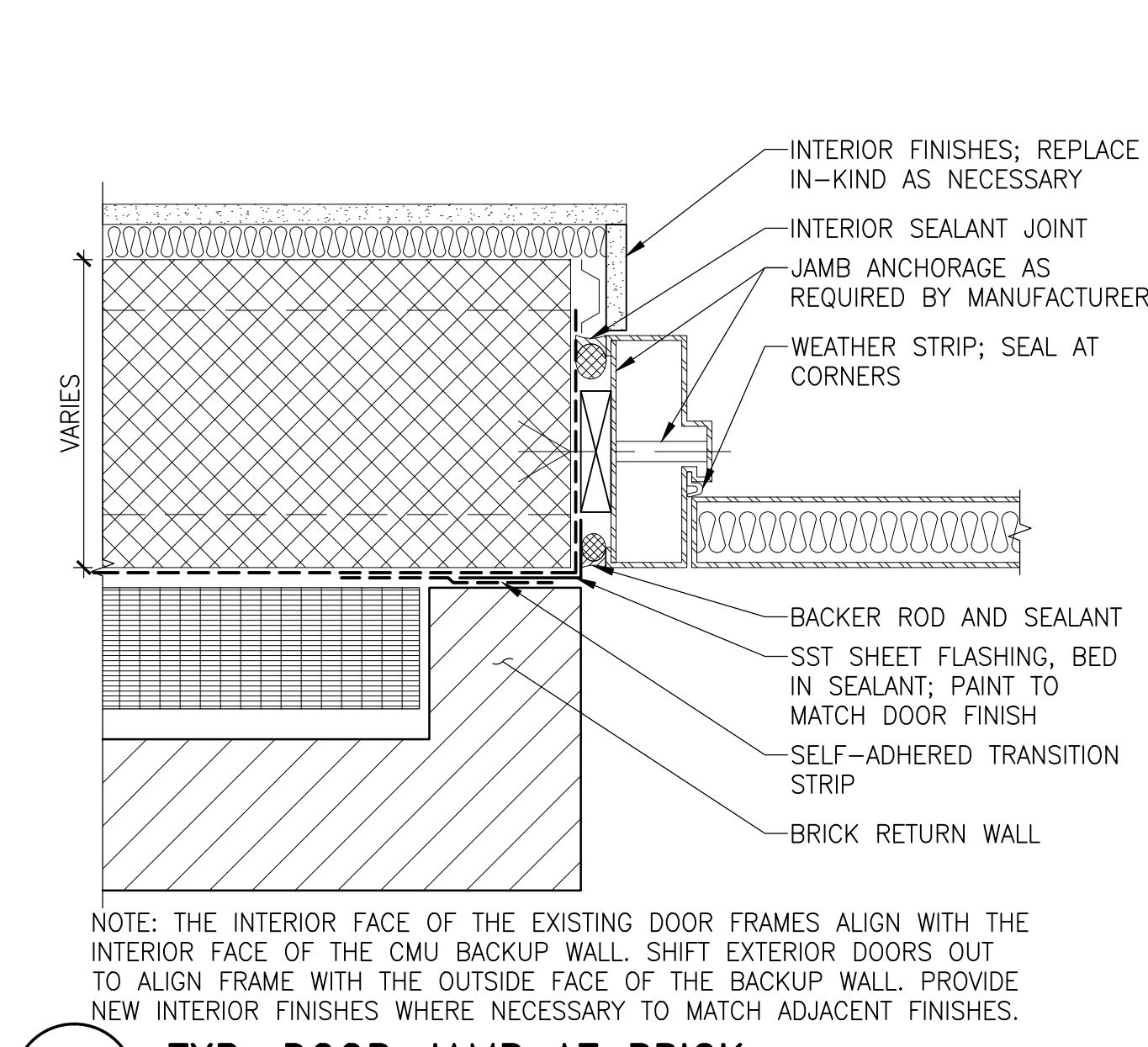
4 TYP. LOUVER HEAD 3" = 1'-0"



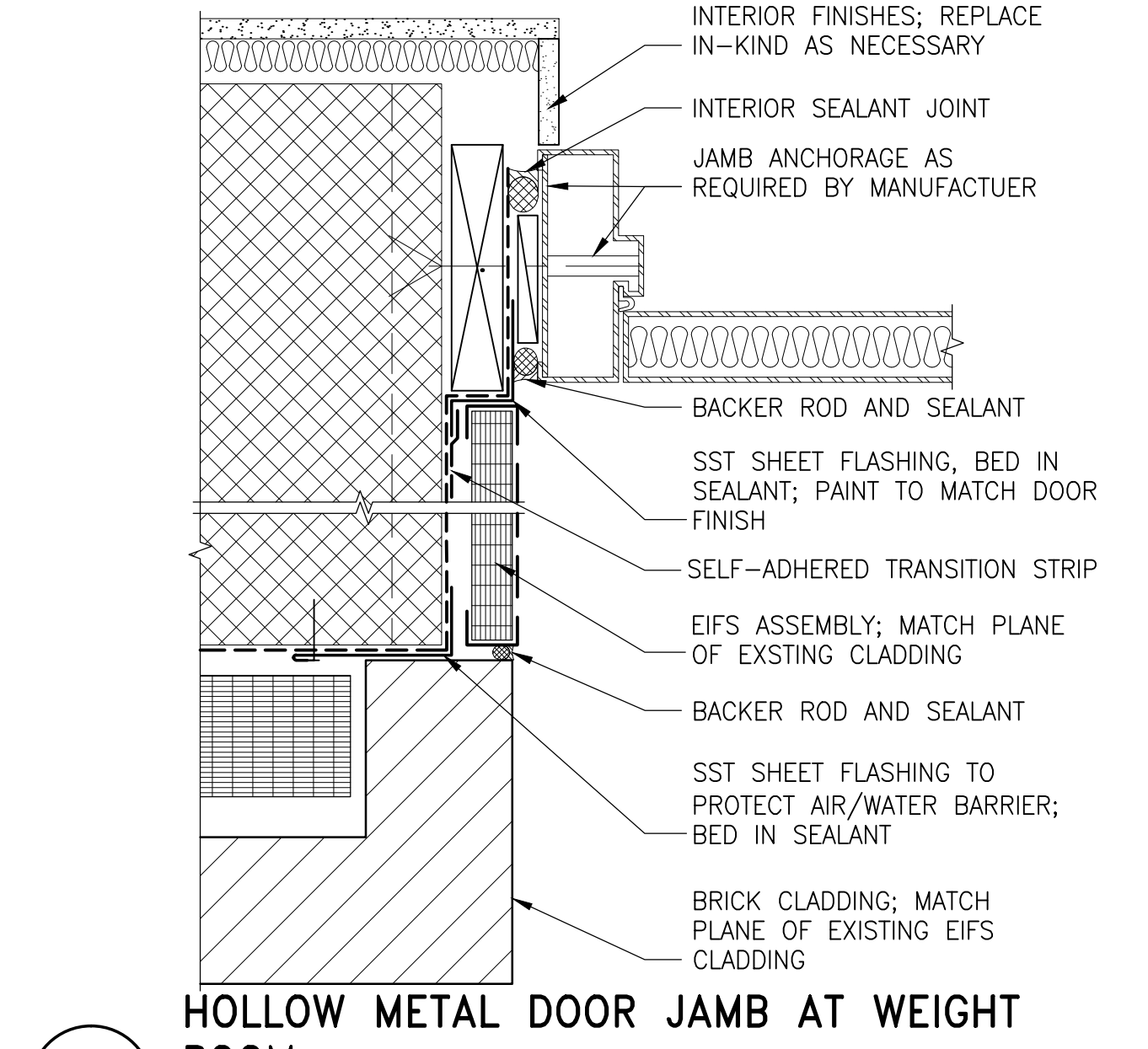
5 TYP. DOOR HEAD AT EXT. WALL 3" = 1'-0"



6 TYP. LOUVER SILL 3" = 1'-0"



7 TYP. DOOR JAMB AT BRICK 3" = 1'-0"



8 HOLLOW METAL DOOR JAMB AT WEIGHT ROOM 3" = 1'-0"

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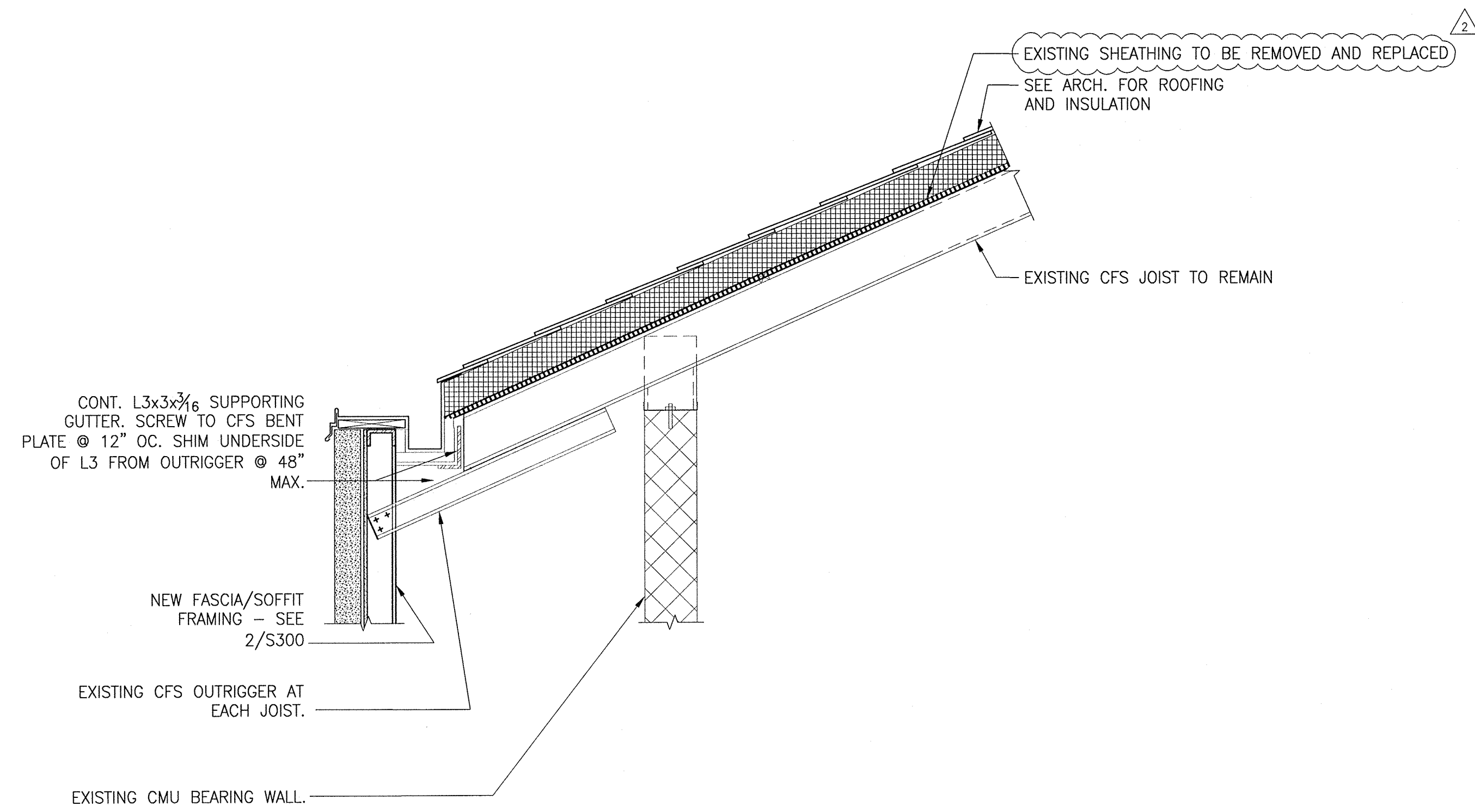
Project

**FENESTRATION
DETAILS**

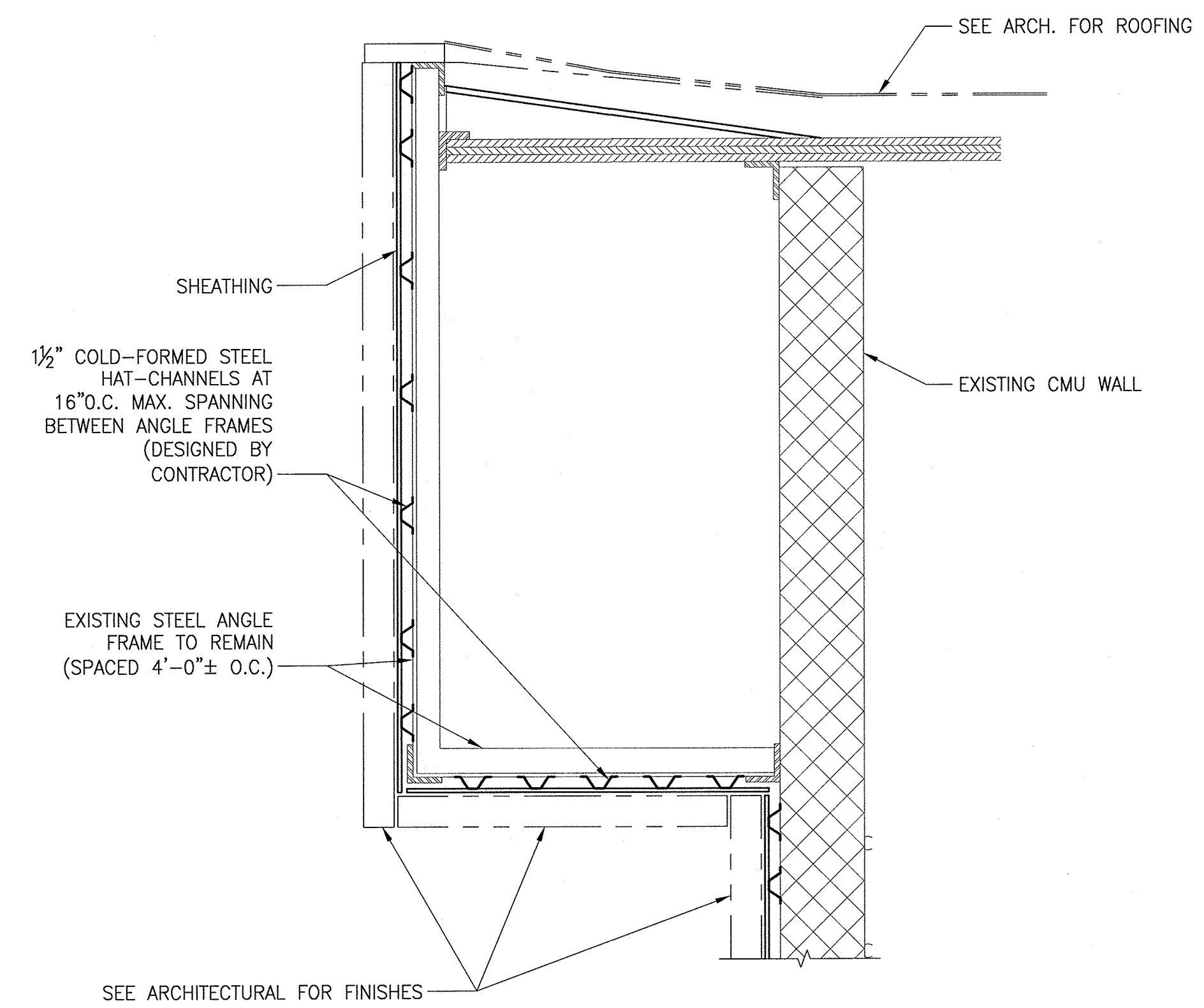
Drawing Title

| | | |
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| Drawn CEM | Approved DSS | Scale AS SHOWN |
| Drawing No. A611 | | |

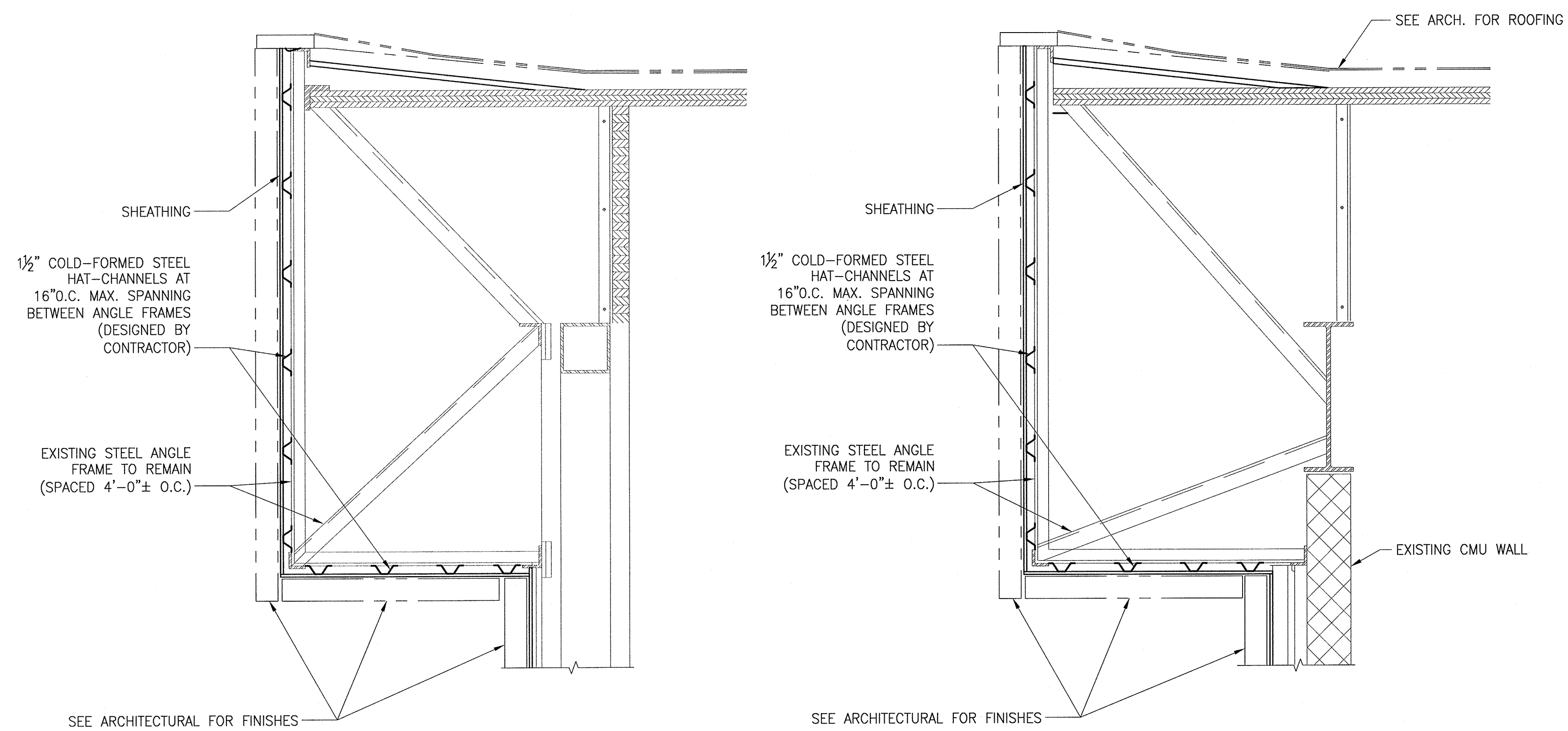
PERMIT RESPONSE SET



1 TYPICAL LOW ROOF SECTION - AT GYMNASIUM 3/4" = 1'-0"



2 SECTION AT UPPER ROOF 3/4" = 1'-0"



3 SECTION AT UPPER ROOF 3/4" = 1'-0" 4 SECTION AT UPPER ROOF 3/4" = 1'-0"

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LICENSE NO. 43366
EXPIRATION DATE: 03-16-2017

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| 11/20/15 | | Pricing/Permit Set | |
| 08/28/15 | | 100% Design Development | |

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20200 OBSERVATION DRIVE
GERMANTOWN, MD 20876

Project

DETAILS

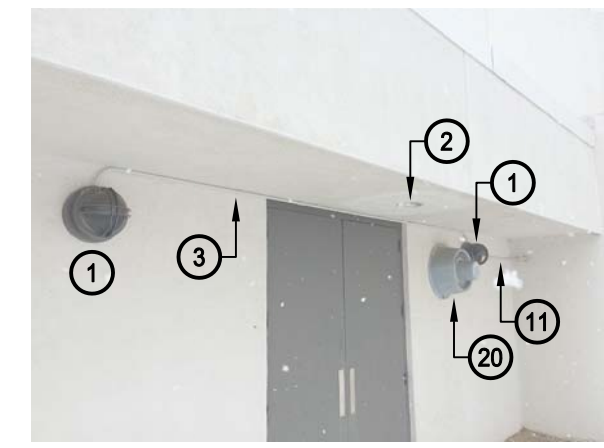
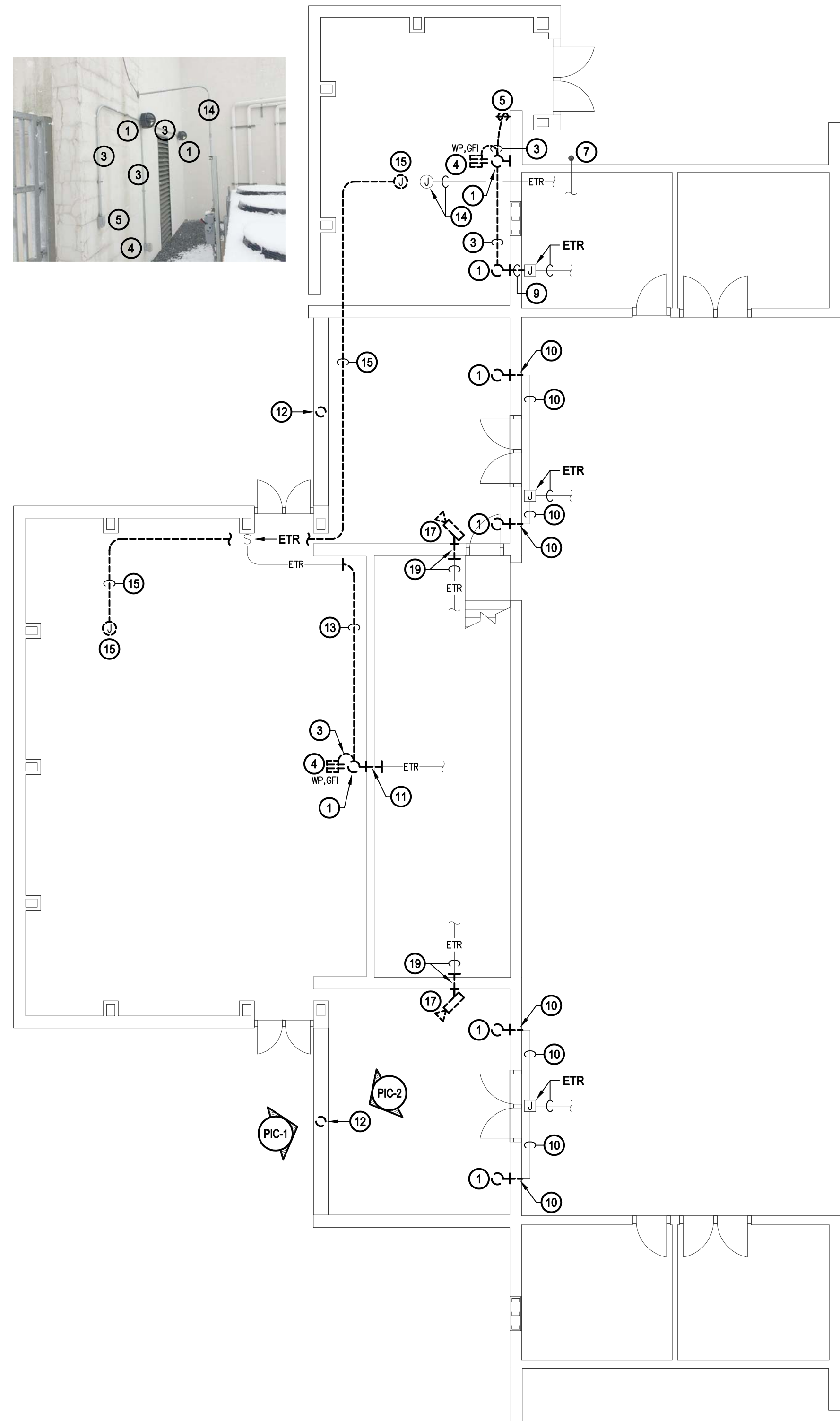
Drawing Title

| | | |
|--------------------------|-----------------|---------------------|
| Project No. 150049.01 | Checked ERO | Date 02/22/16 |
| Drawn DMS | Approved ERO | Scale 0/0"=0'-0" |

Drawing No.

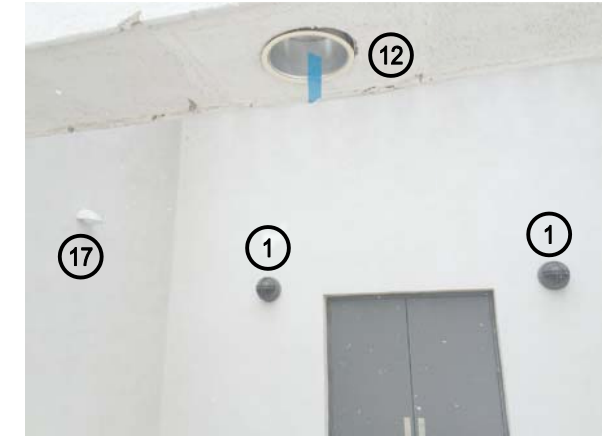
S301

Seal

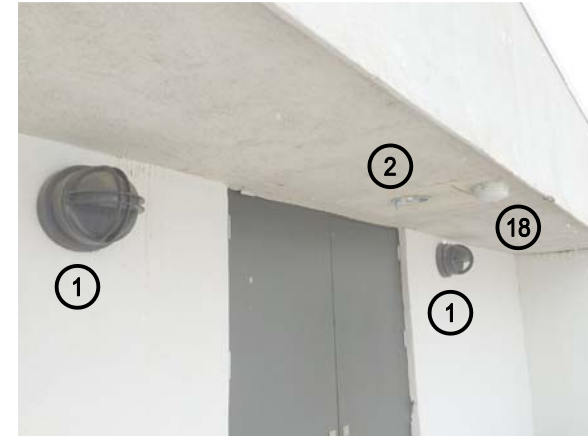


GENERAL NOTES:

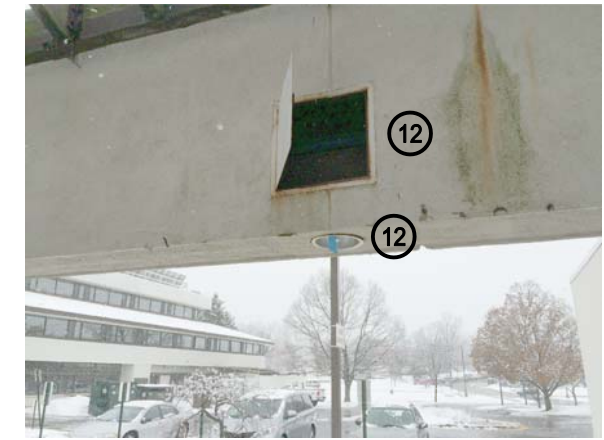
- REFER TO E001 FOR ELECTRICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- TEMPORARILY REMOVE JUNCTION BOXES, CONDUITS, CONDUITS & LIGHTING FIXTURES INSTALLED ON INTERIOR WALLS AS REQUIRED TO REMOVE CONDUITS THROUGH EXTERIOR WALLS.



PIC-1



PIC-3



PIC-2



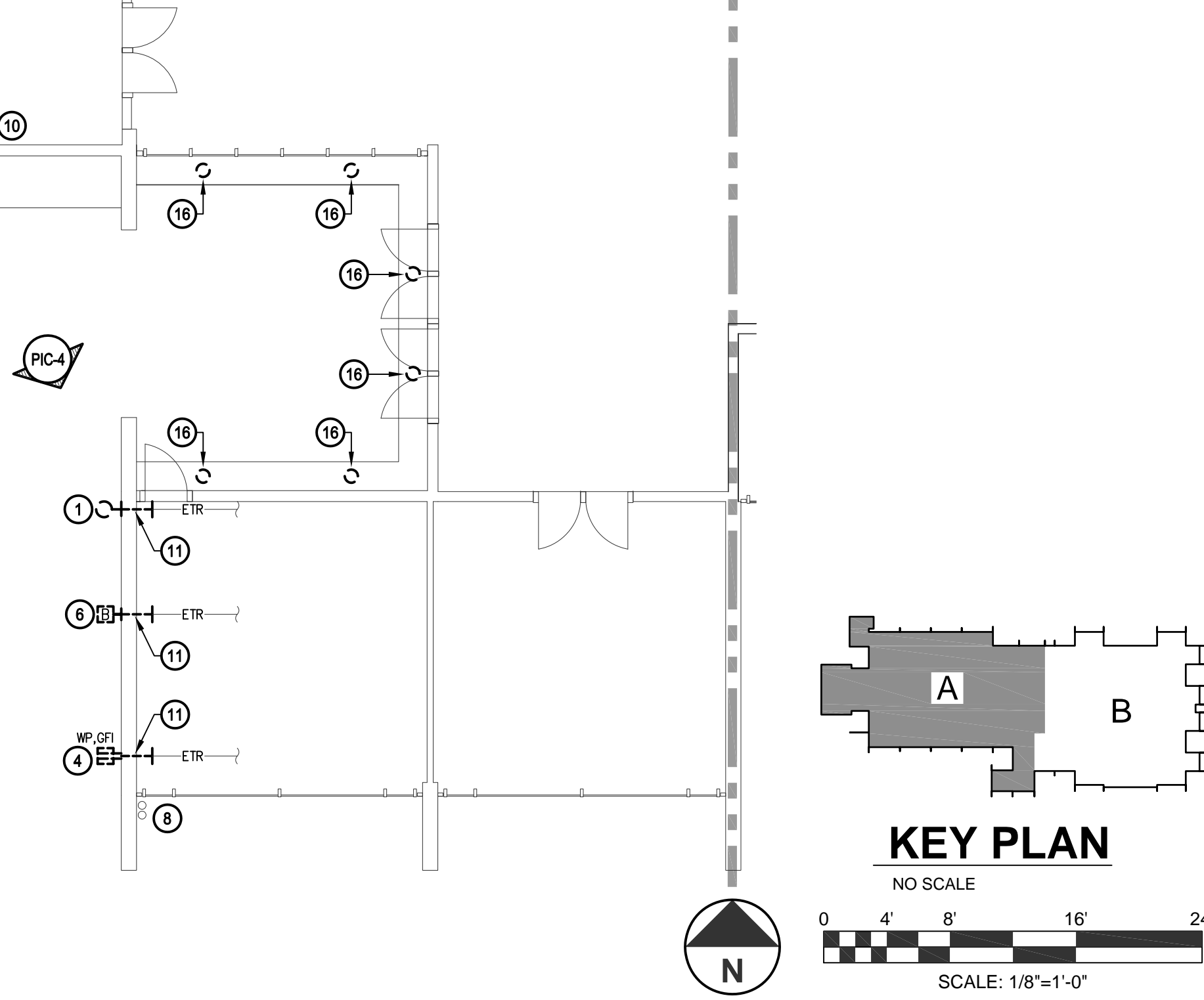
PIC-4

MATCHLINE - REFER TO DRAWING E102 FOR CONTINUATION

DRAWING NOTES:

- RX WALL MOUNTED LIGHTING FIXTURE & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX DOWNLIGHTING FIXTURE INCLUSIVE OF ASSOCIATED BRANCH CIRCUIT BACK TO SOURCE.
- RX SURFACE MOUNTED CONDUIT & WIRING.
- RX SURFACE MOUNTED DUPLEX RECEPTACLE WITH INUSE COVER & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX SURFACE MOUNTED SWITCH WITH WET LOCATION COVER & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX FIRE ALARM BELL & RETAIN FOR REUSE IN NEW WORK PHASE.
- EX 2" CONDUIT WITH 'LB' FITTING TO REMAIN (APPROXIMATELY 12" ABOVE FINISHED GRADE).
- EX (2) 4" CONDUIT RISERS TO REMAIN.
- RX CONDUIT & WIRING FROM LIGHTING FIXTURE TO JUNCTION BOX.
- RX CONDUIT FROM LIGHTING FIXTURE TO CONDULET. RX WIRING FROM LIGHTING FIXTURE TO JUNCTION BOX.
- RX CONDUIT & WIRING TO POINT INDICATED.
- RX DOWNLIGHTING FIXTURE INCLUSIVE OF ASSOCIATED BRANCH CIRCUIT BACK TO SOURCE & ACCESS PANEL ON BACK OF OVERHEAD STRUCTURE.
- RX WIRING FROM SWITCH TO LIGHTING FIXTURE & CONDUIT FROM LIGHTING FIXTURE TO POINT INDICATED.
- EX CONDUIT, WIRING & CONNECTION TO OUTDOOR CONDENSING UNIT TO REMAIN.
- RX CONDUIT & WIRING BETWEEN OUTDOOR CONDENSING UNITS INCLUSIVE OF ASSOCIATED SUPPORTS. CONTROL CONNECTION WILL BE RE-INSTALLED AFTER NEW WALLS ARE INSTALLED.
- RX DOWNLIGHTING FIXTURE & RETAIN FOR REUSE IN NEW WORK PHASE. EXISTING BRANCH CIRCUIT SHALL REMAIN.
- RX WALL MOUNTED SECURITY CAMERA & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX SECURITY CAMERA ON UNDERSIDE OF SOFFIT & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX CONDUIT THROUGH EXTERIOR WALL. PULL WIRING SERVING CAMERA BACK TO INTERIOR & COIL FOR REUSE IN NEW WORK PHASE.
- RX CONNECTION TO EXHAUST FAN UNIT MOUNTED DISCONNECT. FAN IS BEING TEMPORARILY REMOVED FOR INSTALLATION OF NEW EXTERIOR WALL. PULL EXISTING CONDUIT & WIRING BACK TO INTERIOR FOR REUSE & RE-INSTALL IN NEW WORK PHASE. PROVIDE NEW ACCESS PANEL IN DRYWALL CEILING AS REQUIRED TO ACCESS BRANCH CIRCUIT.

1 PART FIRST FLOOR PLAN - AREA 'A' - ELECTRICAL - DEMOLITION
SCALE: 1/8"=1'-0"



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| Security Consultant | GHD, Inc. 14585 Avion Parkway, Suite 150 Chantilly, VA 20151 571.325.5000 |
| Cost Estimating Consultant | Forella Group, LLC. 9495 Silver King Ct., Suite A Fairfax, VA 22031 703.560.2200 |
| Electrical Consultant | bkm, Inc. 1416 Clarkview Road Baltimore, MD 21209 410.323.0600 |

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| No. | Date | Description | By |
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| 2 | 02/22/16 | Permit Response Set | |
| 1 | 01/22/16 | Bid Set | |
| 1 | 11/20/15 | Pricing/Permit Set | |
| 1 | 08/28/15 | 100% Design Development | |

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**PART FIRST FLOOR PLAN
AREA 'A'
ELECTRICAL
DEMOLITION**

| | | |
|----------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked LSF | Date 2/22/2016 |
| Drawn MB | Approved RAM | Scale AS NOTED |
| Drawing No. E101 | | Seal |

PERMIT RESPONSE SET

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| 1 | 11/20/15 | Pricing/Permit Set | |
| 1 | 08/28/15 | 100% Design Development | |

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**PART FIRST FLOOR PLAN
AREA 'B'
ELECTRICAL
DEMOLITION**

Drawing Title

| | | |
|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked LSF | Date 2/22/2016 |
| Drawn MB | Approved RAM | Scale AS NOTED |

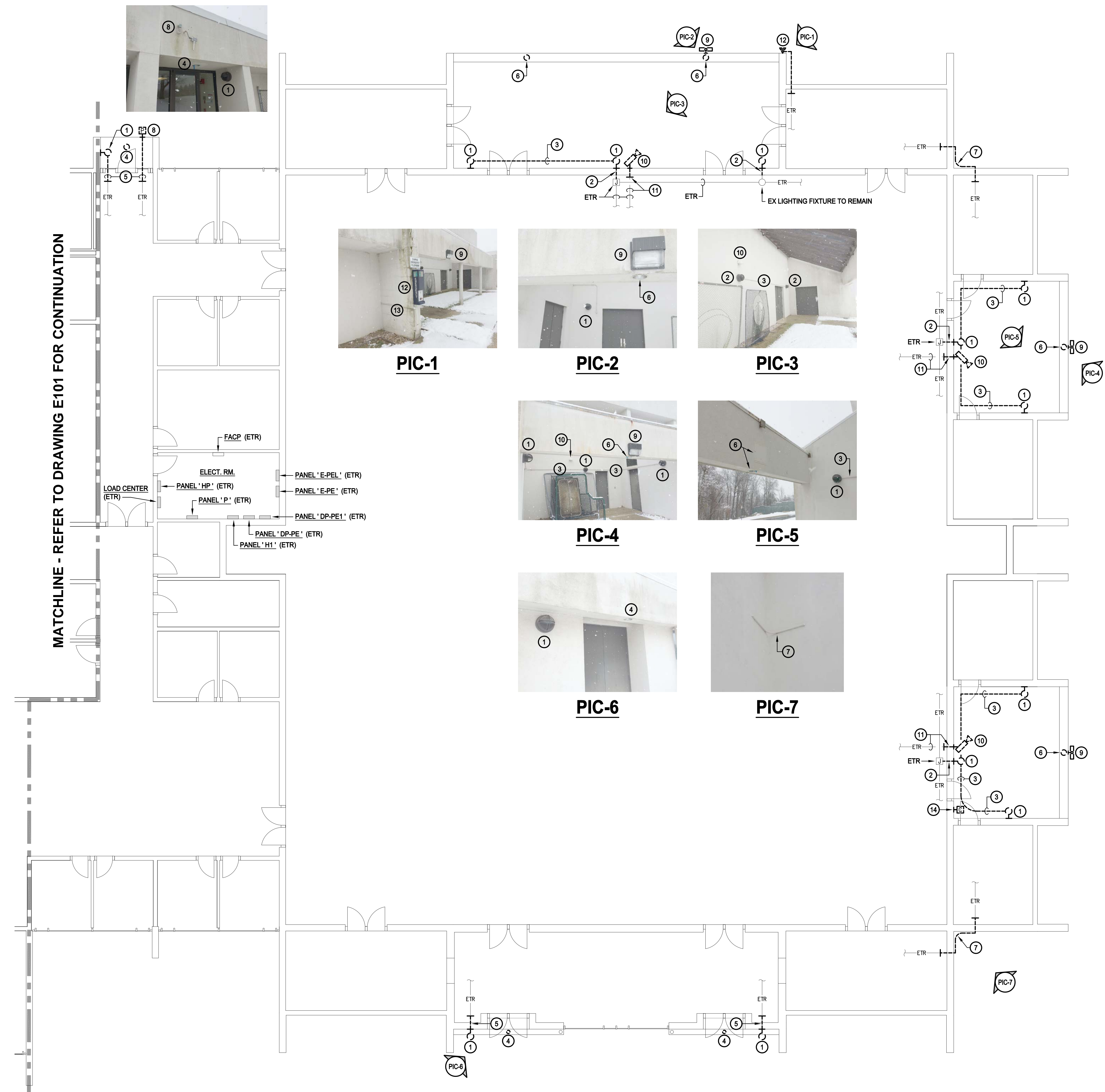
Seal
Drawing No.
E102

GENERAL NOTES:

- REFER TO E001 FOR ELECTRICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- TEMPORARILY REMOVE JUNCTION BOXES, CONDULETS, CONDUITS & LIGHTING FIXTURES INSTALLED ON INTERIOR WALLS AS REQUIRED TO REMOVE CONDUITS THROUGH EXTERIOR WALLS.

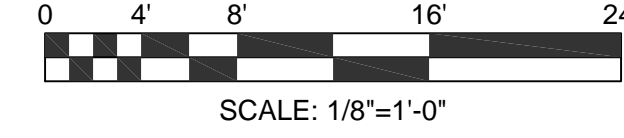
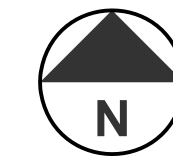
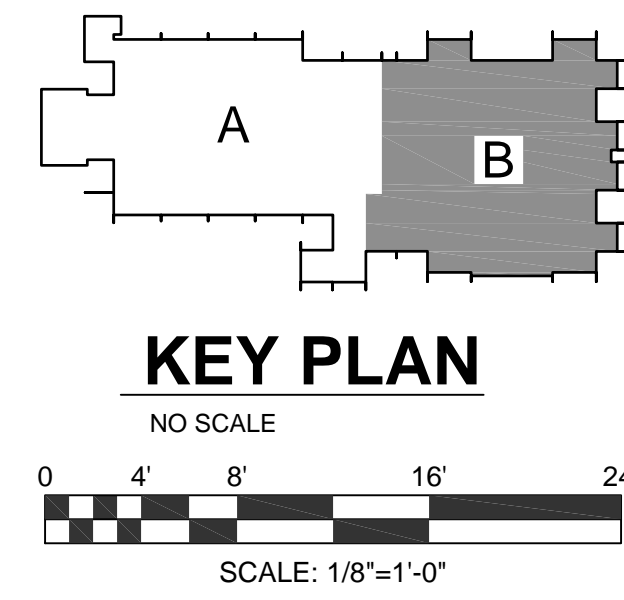
DRAWING NOTES:

- RX WALL MOUNTED LIGHTING FIXTURE & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX CONDUIT & WIRING FROM LIGHTING FIXTURE TO JUNCTION BOX OR LIGHTING FIXTURE.
- RX SURFACE MOUNTED CONDUIT & WIRING.
- RX DOWNLIGHTING FIXTURE INCLUSIVE OF ASSOCIATED BRANCH CIRCUIT BACK TO SOURCE.
- RX CONDUIT & WIRING BACK TO POINT INDICATED.
- RX DOWNLIGHTING FIXTURE INCLUSIVE OF ASSOCIATED BRANCH CIRCUIT BACK TO SOURCE & ACCESS PANEL ON BACK OF OVERHEAD STRUCTURE.
- RX SURFACE MOUNTED CONDUIT & WIRING TO POINT INDICATED.
- RX PHOTO CELL & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX WALL MOUNTED HALOGEN LIGHTING FIXTURE & ASSOCIATED BRANCH CIRCUIT BACK TO SOURCE.
- RX WALL MOUNTED SECURITY CAMERA & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX CONDUIT THROUGH EXTERIOR WALL. PULL WIRING SERVING CAMERA BACK TO INTERIOR & COIL FOR REUSE IN NEW WORK PHASE.
- RX SECURITY BLUE PHONE & RETAIN FOR REUSE IN NEW WORK PHASE.
- RX CONDUIT & WIRING BACK TO POINT INDICATED.
- RX UNUSED WIRING FROM OUTLET BOX BACK TO SOURCE. RE-INSTALL BLANK COVER & ABANDON OUTLET BOX IN PLACE.



MATCHLINE - REFER TO DRAWING E101 FOR CONTINUATION

1 PART FIRST FLOOR PLAN - AREA 'B' - ELECTRICAL - DEMOLITION
SCALE: 1/8" = 1'-0"



PERMIT RESPONSE SET

GENERAL NOTES:

- REFER TO E001 FOR ELECTRICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- RE-INSTALL EXISTING JUNCTION BOX & LIGHTING FIXTURES INSTALLED ON INTERIOR WALLS AFTER INSTALLATION OF CONDUITS THROUGH EXTERIOR WALLS IS COMPLETED.

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Project

**PART FIRST FLOOR PLAN
AREA 'A'
ELECTRICAL
NEW WORK**

Drawing Title

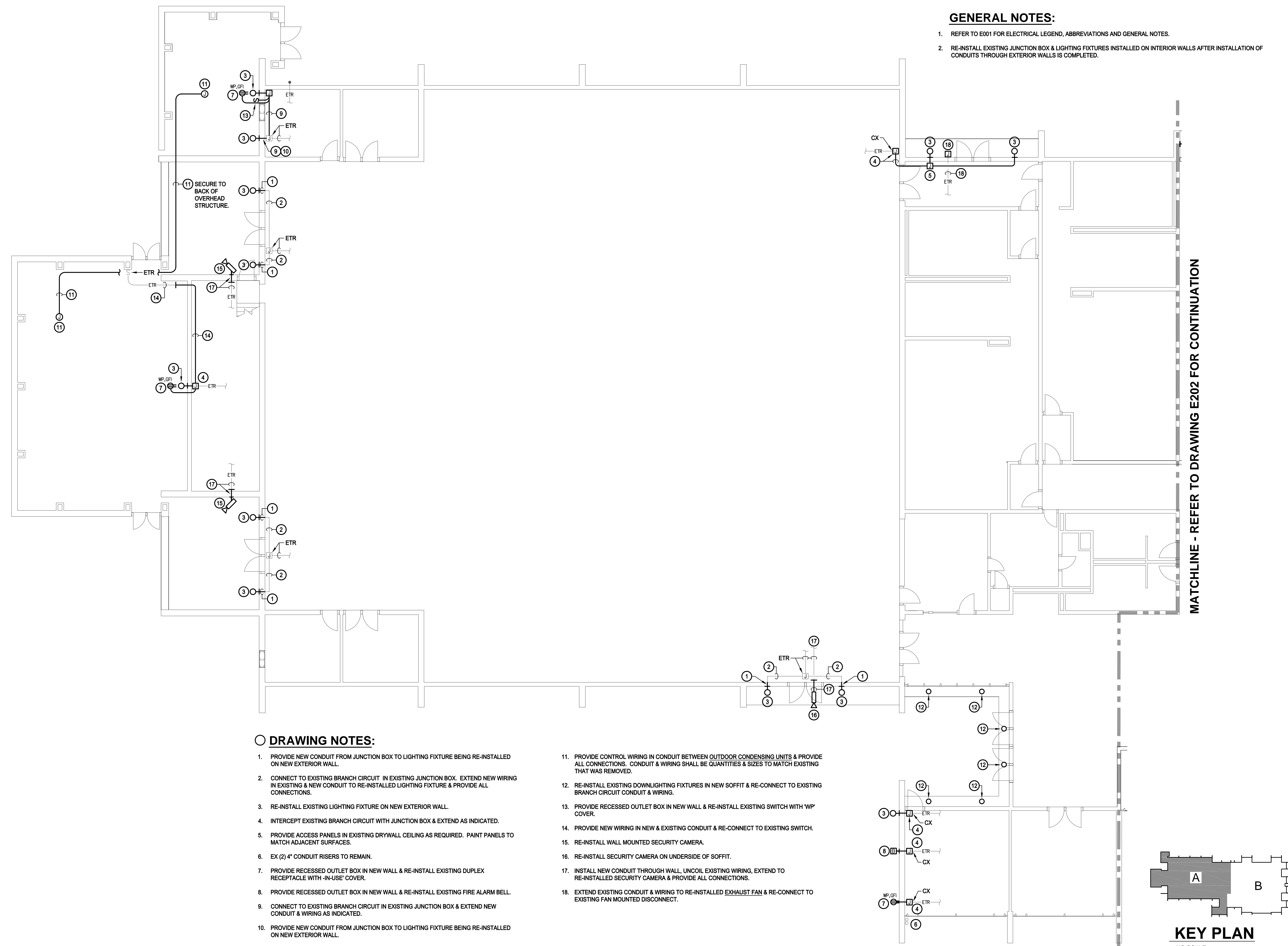
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|--------------------------|-----------------|-------------------|
| Project No. 150049.01 | Checked LSF | Date 2/22/2016 |
| Drawn MB | Approved RAM | Scale AS NOTED |

Drawing No.

E201

Seal

BKM# 16009.01

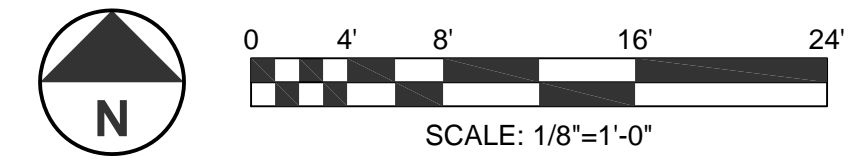


MATCHLINE - REFER TO DRAWING E202 FOR CONTINUATION

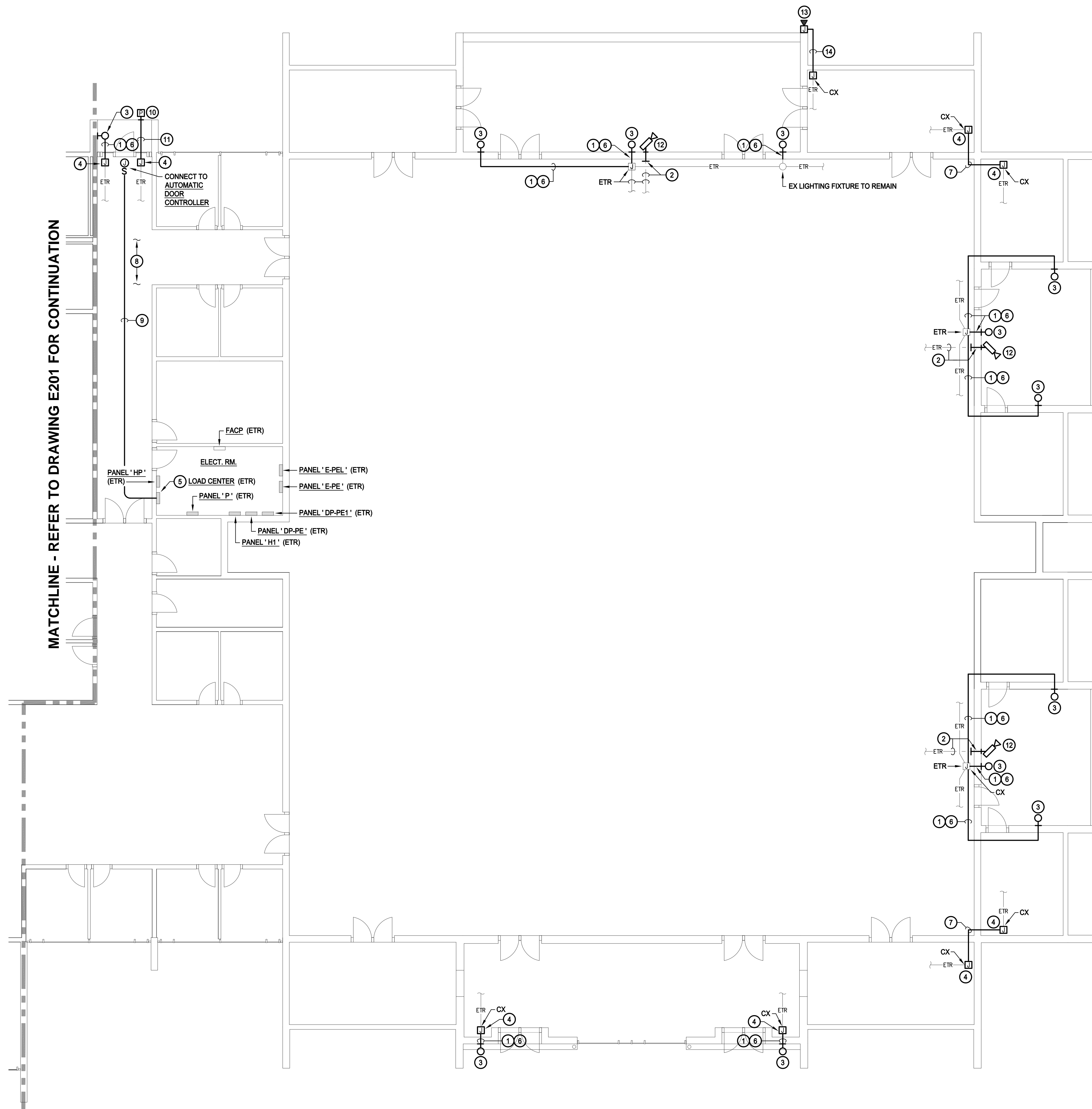
DRAWING NOTES:

- PROVIDE NEW CONDUIT FROM JUNCTION BOX TO LIGHTING FIXTURE BEING RE-INSTALLED ON NEW EXTERIOR WALL.
- CONNECT TO EXISTING BRANCH CIRCUIT IN EXISTING JUNCTION BOX. EXTEND NEW WIRING IN EXISTING & NEW CONDUIT TO RE-INSTALLED LIGHTING FIXTURE & PROVIDE ALL CONNECTIONS.
- RE-INSTALL EXISTING LIGHTING FIXTURE ON NEW EXTERIOR WALL.
- INTERCEPT EXISTING BRANCH CIRCUIT WITH JUNCTION BOX & EXTEND AS INDICATED.
- PROVIDE ACCESS PANELS IN EXISTING DRYWALL CEILING AS REQUIRED. PAINT PANELS TO MATCH ADJACENT SURFACES.
- EX (2) 4" CONDUIT RISERS TO REMAIN.
- PROVIDE RECESSED OUTLET BOX IN NEW WALL & RE-INSTALL EXISTING DUPLEX RECEPTACLE WITH '-IN-USE' COVER.
- PROVIDE RECESSED OUTLET BOX IN NEW WALL & RE-INSTALL EXISTING FIRE ALARM BELL.
- CONNECT TO EXISTING BRANCH CIRCUIT IN EXISTING JUNCTION BOX & EXTEND NEW CONDUIT & WIRING AS INDICATED.
- PROVIDE NEW CONDUIT FROM JUNCTION BOX TO LIGHTING FIXTURE BEING RE-INSTALLED ON NEW EXTERIOR WALL.
- PROVIDE CONTROL WIRING IN CONDUIT BETWEEN OUTDOOR CONDENSING UNITS & PROVIDE ALL CONNECTIONS. CONDUIT & WIRING SHALL BE QUANTITIES & SIZES TO MATCH EXISTING THAT WAS REMOVED.
- RE-INSTALL EXISTING DOWNLIGHTING FIXTURES IN NEW SOFFIT & RE-CONNECT TO EXISTING BRANCH CIRCUIT CONDUIT & WIRING.
- PROVIDE RECESSED OUTLET BOX IN NEW WALL & RE-INSTALL EXISTING SWITCH WITH 'WP' COVER.
- PROVIDE NEW WIRING IN NEW & EXISTING CONDUIT & RE-CONNECT TO EXISTING SWITCH.
- RE-INSTALL WALL MOUNTED SECURITY CAMERA.
- RE-INSTALL SECURITY CAMERA ON UNDERSIDE OF SOFFIT.
- INSTALL NEW CONDUIT THROUGH WALL, UNCOIL EXISTING WIRING, EXTEND TO RE-INSTALLED SECURITY CAMERA & PROVIDE ALL CONNECTIONS.
- EXTEND EXISTING CONDUIT & WIRING TO RE-INSTALLED EXHAUST FAN & RE-CONNECT TO EXISTING FAN MOUNTED DISCONNECT.

1 PART FIRST FLOOR PLAN - AREA 'A' - ELECTRICAL - NEW WORK
SCALE: 1/8"=1'-0"



C:\V000001 <>> E201-2 ELECT NEWWORK 02/16/16 13:31 XREF: \V000001\BUILDING



MATCHLINE - REFER TO DRAWING E201 FOR CONTINUATION

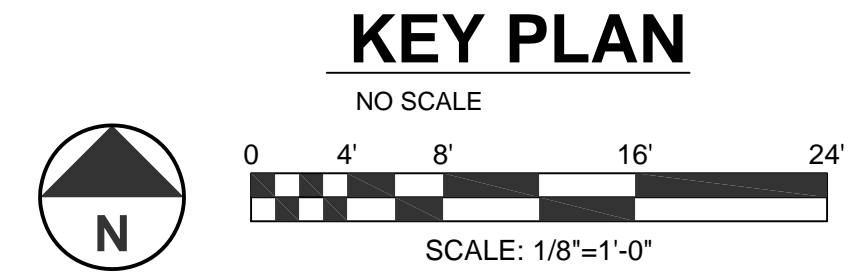
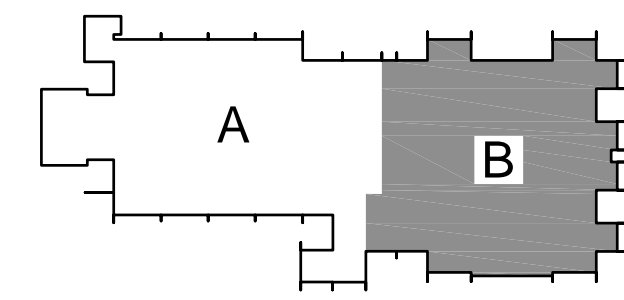
GENERAL NOTES:

1. REFER TO E001 FOR ELECTRICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES.
2. RE-INSTALL EXISTING JUNCTION BOX & LIGHTING FIXTURES INSTALLED ON INTERIOR WALLS AFTER INSTALLATION OF CONDUITS THROUGH EXTERIOR WALLS IS COMPLETED.
3. PROVIDE EXTENSION RINGS ON EXISTING JUNCTION BOXES AS REQUIRED TO ACCOMMODATE NEW CONDUITS.

DRAWING NOTES:

1. PROVIDE NEW CONDUIT FROM JUNCTION BOX TO LIGHTING FIXTURE BEING RE-INSTALLED ON NEW EXTERIOR WALL.
2. INSTALL NEW CONDUIT THROUGH WALL, UNCOIL EXISTING WIRING, EXTEND TO RE-INSTALLED SECURITY CAMERA & PROVIDE ALL CONNECTIONS.
3. RE-INSTALL EXISTING LIGHTING FIXTURE ON NEW EXTERIOR WALL.
4. INTERCEPT EXISTING BRANCH CIRCUIT WITH JUNCTION BOX & EXTEND AS INDICATED.
5. PROVIDE 20A, 1P CIRCUIT BREAKER IN EXISTING SPACE #12 OF EXISTING SQUARE-D TYPE 'QO' LOAD CENTER RATED 100A, 208/120V, 1 PH. FOR AUTOMATIC DOOR CONTROLLER. CIRCUIT BREAKER SHALL BE TYPE TO MATCH EXISTING & MAINTAIN MINIMUM AIC RATING.
6. CONNECT TO EXISTING BRANCH CIRCUIT IN NEW OR EXISTING JUNCTION BOX & EXTEND NEW CONDUIT & WIRING AS INDICATED.
7. PROVIDE NEW SURFACE MOUNTED CONDUIT & WIRING.
8. REMOVE / RE-INSTALL EXISTING LAY-IN CEILING SYSTEM AS REQUIRED TO INSTALL NEW CONDUIT.
9. 2 #12, 1 #12 GW IN 3/4" CONDUIT
10. RE-INSTALL EXISTING PHOTOCELL ON NEW EXTERIOR WALL.
11. EXTEND CONDUIT & WIRING TO RELOCATED PHOTOCELL & PROVIDE ALL CONNECTIONS.
12. RE-INSTALL WALL MOUNTED SECURITY CAMERA.
13. PROVIDE RECESSED BOX BEHIND BLUE PHONE IN NEW WALL. RE-INSTALL BLUE PHONE OVER BOX & RECONNECT TO WIRING PREVIOUSLY SERVING.
14. INTERCEPT EXISTING CONDUIT & WIRING WITH NEW JUNCTION BOX & EXTEND NEW CONDUIT & WIRING BEHIND NEW EXTERIOR WALL TO NEW RECESSED BOX AS INDICATED.

1 PART FIRST FLOOR PLAN - AREA 'B' - ELECTRICAL - NEW WORK
SCALE: 1/8" = 1'-0"



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**PART FIRST FLOOR PLAN
AREA 'B'
ELECTRICAL
NEW WORK**

| | | | |
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| Drawing No. E202 | | Seal | |

C:\V000001 <>> E201-2 ELECT NEWWORK 02/16/16 11:42 XREF: \V000001\DRAWING XREF: \V000001\DRAWING